

CHAPTER 2.

FORM DISTRICTS

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DIVISION 2.1. GENERAL PROVISIONS

Sec. 2.1.1. How to Use this Chapter

A. Form District Pages

- 1. Each Form District is formatted on a set of pages, identifying the standards specific to each Form District. The pages are formatted as a set of graphics and tables, with lot standards on the first page and building standards on the second page.
- 2. The tables are organized into categories of district standards, with specific standards listed below each category. Each district standard category provides a linked reference to the Rules for Form Districts, where the standards within that category are explained in further detail.

B. Rules for Form Districts

- 1. Chapter 3. Rules for Form Districts describes the standards for Form Districts in detail. Each requirement includes a definition, intent statement, applicability, standards for meeting the requirement, rules for measurement, exceptions and relief, if any.
- 2. Chapter 3. Rules for Form Districts is generally organized in the same order as the tables in the Form District pages. Chapter 3. Rules for Form Districts starts with a set of general terms and designations that includes definitions and standards for terminology primarily used in this Chapter. Definitions and standards for terms used more broadly throughout the Code are found in Chapter 10. General Standards and Definitions.

District Page

Step 1: Find Your District Page

Step 2: Review Your District Standards

Step 3: Learn More About Your Standards

Standard Category

Label on Graphic

Link to Standards

RESIDENTIAL MIXED USE

2.3.2. RX-3 RESIDENTIAL MIXED USE 3

A LOT

1. LOT SIZE

2. DENSITY

3. COVERAGE

4. BUILDING SETBACKS

5. BUILD-TO

6. TRANSITION

7. PARKING LOCATION

Sec. 2.10.2

Sec. 2.10.3

Sec. 2.10.4

Sec. 2.10.5

Sec. 2.10.6

Sec. 2.10.7

Sec. 2.10.8

Area (min)

Width (min)

Front access

Side / rear access

Dwellings per lot (max)

Building coverage (max)

Outdoor amenity space (min)

Primary street lot line (min/max)

Side street lot line (min/max)

Side lot line (min)

Rear lot line (min)

Alley lot line (min)

Build-to width (min)

Primary street

Side street

Transition type

Front yard

Side street yard

Side yard

Rear yard

None

40'

15'

Unlimited

80%

10%

5' / 15'

5' / 15'

0'

0'

5'

75%

45%

Type A

Not allowed

Not allowed

Allowed

Allowed

2-18

CHAPTER 34 - DEVELOPMENT CODE | CHARLOTTESVILLE, VA

ADOPTED | DECEMBER 18, 2023

Rules for Zoning Districts

2.10.2. Lot Size

A. Area

1. Intent

2. Applicability

3. Standards

The total square footage within the boundaries of a lot.

To facilitate the creation of a convenient, attractive, and harmonious community by ensuring newly established lots are generally consistent with desirable development patterns in the neighborhood and within the same zoning district.

The minimum area requirement applies to lots approved and recorded on or after the effective date of this Development Code.

Any use allowed in the zoning district may be established on a lot lawfully created and recorded before the effective date of this Development Code, regardless of size of the lot, provided, that all other requirements of this Development Code are met.

Where sublots are permitted, lot area is calculated for each lot, not individual sublots.

Every lot must have an area no less than the minimum lot area required by the zoning district.

Sec. 2.1.2. **Applicability**

A. Form District Standards

1. Form District standards apply based on the types of project activities proposed, as shown in the table below. Typically, more than one project activity will apply to a proposed project (for example, an expansion of an existing use may include both an addition and a facade modification).

FORM DISTRICT STANDARDS		PROJECT ACTIVITY						
		New Construction	Addition	Site Modification	Facade Modification	Change of Use	Renovation	Maintenance and Repair
Lot Size	Sec. XX.XX.	○	○	○	○	○	○	○
Density	Sec. XX.XX.	●	●	○	○	●	●	○
Coverage	Sec. XX.XX.	●	●	●	○	○	○	○
Streetscapes	Sec. XX.XX.	●	●	●	○	○	○	○
Building Setbacks	Sec. XX.XX.	●	●	○	○	○	○	○
Build-To	Sec. XX.XX.	●	●	○	○	○	○	○
Transition	Sec. XX.XX.	●	●	●	○	●	○	○
Parking Location	Sec. XX.XX.	●	●	●	○	○	○	○
Massing	Sec. XX.XX.	●	●	○	○	○	○	○
Activation	Sec. XX.XX.	●	●	○	○	○	○	○
Ground Story	Sec. XX.XX.	●	●	○	○	○	○	○
Windows and Doors	Sec. XX.XX.	●	●	○	●	○	○	○
Fences and Walls	Sec. XX.XX.	●	●	●	○	●	○	○

KEY: ● = Standards generally apply ○ = Standards do not apply

2. Project activity is defined in [Chapter 10. General Standards and Definitions](#).
3. Where a standard is listed as applying, and the Form District includes standards for that requirement, all applicable standards must be met. The applicable standards may be further modified by the applicability provisions in [Chapter 3. Rules for Form Districts](#). For existing buildings and uses, applicability may also be modified by [Chapter 9. Nonconformities](#).

B. Relationship to Use Districts

Some Form Districts have standards that vary based on use. Whether or not a certain use is allowed is determined by Use District, not the Form District. If a use is allowed by the Use District, then the use must meet the standards in the Form District. For uses with additional standards listed in [Div. 4.4. Use Standards](#), the Use District supersedes any conflicting standard listed in the Form District.

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DIVISION 2.2. HOUSE-SCALE DISTRICTS

PLACEHOLDER
FOR GRAPHIC

Sec. 2.2.1. Intent

House-Scale Form Districts are intended to accommodate the lowest-intensity areas with large lot sizes and low lot coverage, and are generally in areas with limited walkability to retail, service, and other commercial uses. CN1 and CN2 Form Districts are intended to require that new residential buildings match the existing development patterns of their surroundings.

House-Scale Form Districts are almost always paired with Use Districts that primarily allow household living uses and some civic uses.

Sec. 2.2.2. Summary of Districts

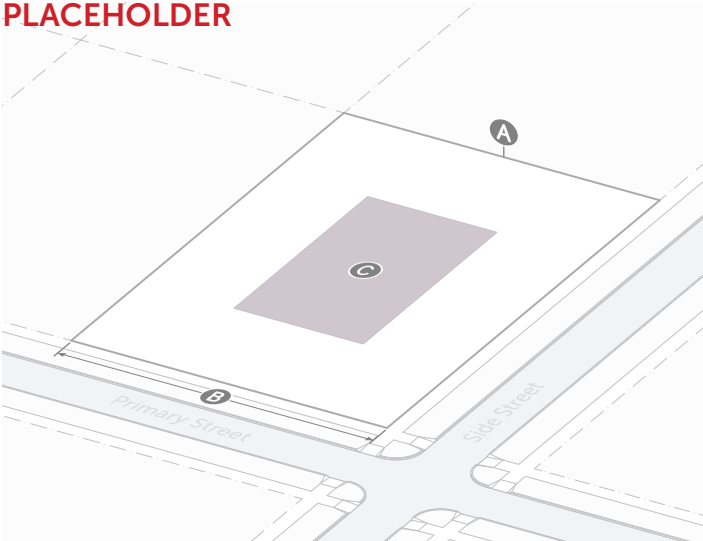
The following table includes a summary of some requirements for each House-Scale Form District. Detailed requirements are further described in this Division.

HOUSE-SCALE DISTRICTS					
District	Lot Area (min)	Lot Width (min)	Dwelling Units (max)	FAR (NLA max)	Height (max)
H1	2 acres	200'	1	0.25	3 stories / 35'
H2	1 acre	150'	1	0.30	3 stories / 35'
H3	30,000 sf	100'	1	0.35	3 stories / 35'
H4	28,000 sf	100'	1	0.40	3 stories / 35'
H5	18,000 sf	100'	1	0.40	3 stories / 35'
H6	13,500 sf	85'	1	0.45	3 stories / 35'
CN1	13,500 sf	85'	1	0.45	Match existing
CN2	9,000 sf	70'	1	0.50	Match existing

SEC. 2.2.3. H1 HOUSE 1

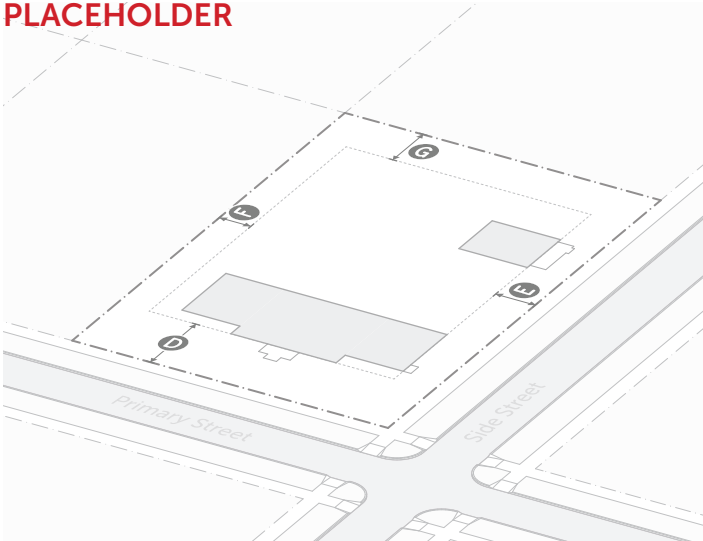
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	2 acres
B Lot width (min)	200'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.25
3. Coverage	Sec. XX.XX.
C Lot coverage (max)	25%
4. Streetscape	Sec. XX.XX.
Amenity zone	Not required
Pedestrian zone	Not required

PLACEHOLDER

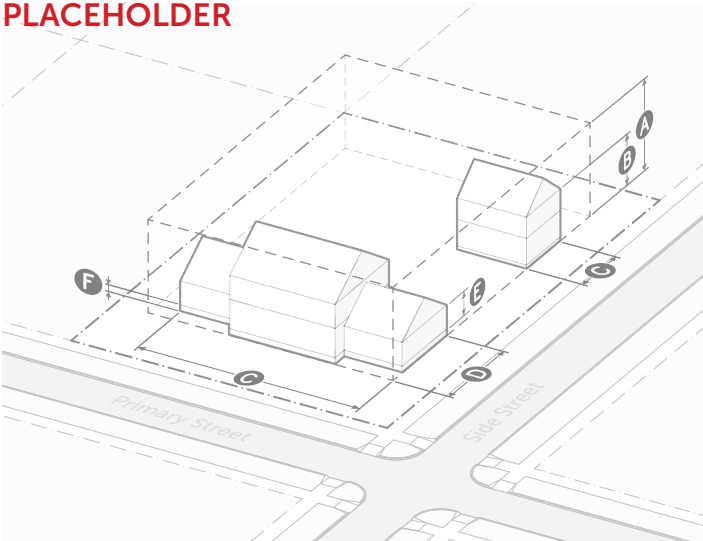


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 60'
E Side street	30'
F Side setback (min)	30'
G Rear setback (min)	40'
6. Parking Location	Sec. XX.XX.
Primary street setback	Driveway only
Side street setback	Driveway only
Side / rear setback	Allowed

H1 HOUSE 1

B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'
3. Fences and Walls	Sec. XX.XX.
Primary street setback	Type 1
Side street setback	Type 2
Side / rear setback	Type 3

#001

Posted by **Laurel David** on **11/15/2024** at **11:23am** [Comment ID: 568] - [Link](#)

Question

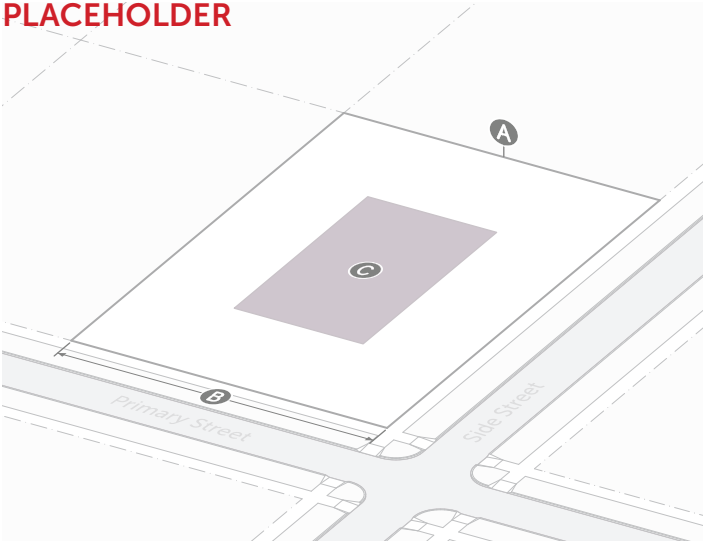
Agree: 0, Disagree: 0

will building height still be measured from grade to the mean level between highest and lowest point of a gable roof?

SEC. 2.2.4. H2 HOUSE 2

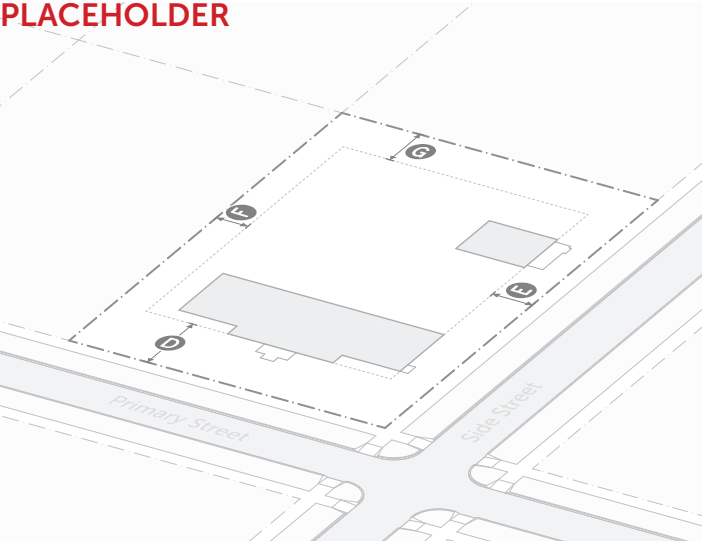
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	1 acre
B Lot width (min)	150'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.3
3. Coverage	Sec. XX.XX.
C Lot coverage (max)	35%
4. Streetscape	Sec. XX.XX.
Amenity zone	Not required
Pedestrian zone	Not required

PLACEHOLDER

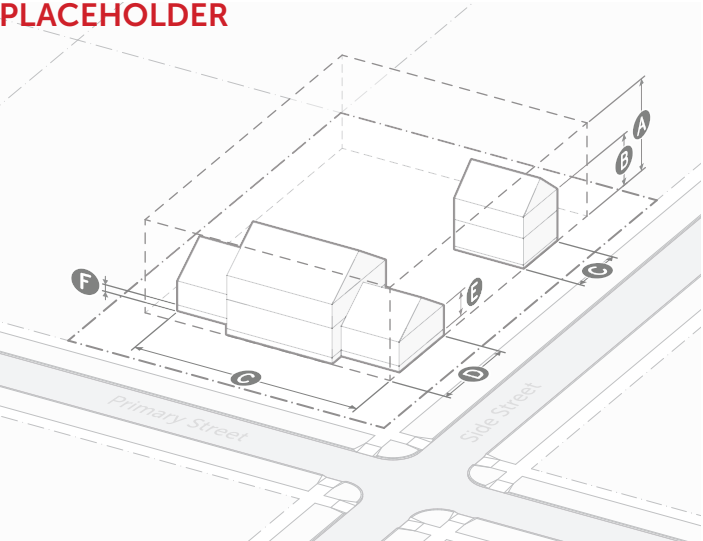


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 60'
E Side street	30'
F Side setback (min)	15'
G Rear setback (min)	30'
6. Parking Location	Sec. XX.XX.
Primary street setback	Driveway only
Side street setback	Driveway only
Side / rear setback	Allowed

H2 HOUSE 2

B. Building Standards

PLACEHOLDER

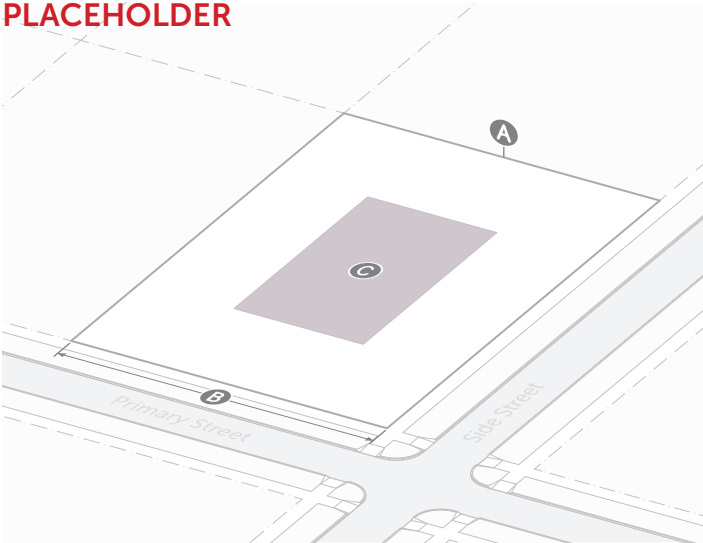


1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'
3. Fences and Walls	Sec. XX.XX.
Primary street setback	Type 1
Side street setback	Type 2
Side / rear setback	Type 3

SEC. 2.2.5. H3 HOUSE 3

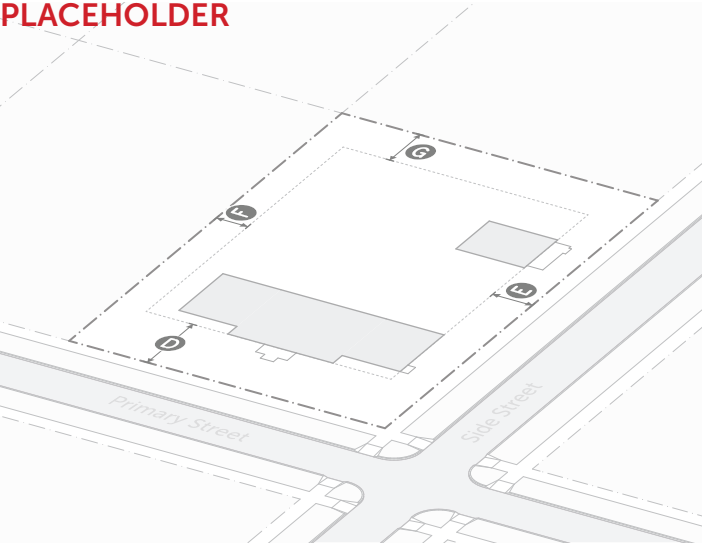
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	30,000 sf
B Lot width (min)	100'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.35
3. Coverage	Sec. XX.XX.
C Lot coverage (max)	35%
4. Streetscape	Sec. XX.XX.
Amenity zone	Not required
Pedestrian zone	Not required

PLACEHOLDER

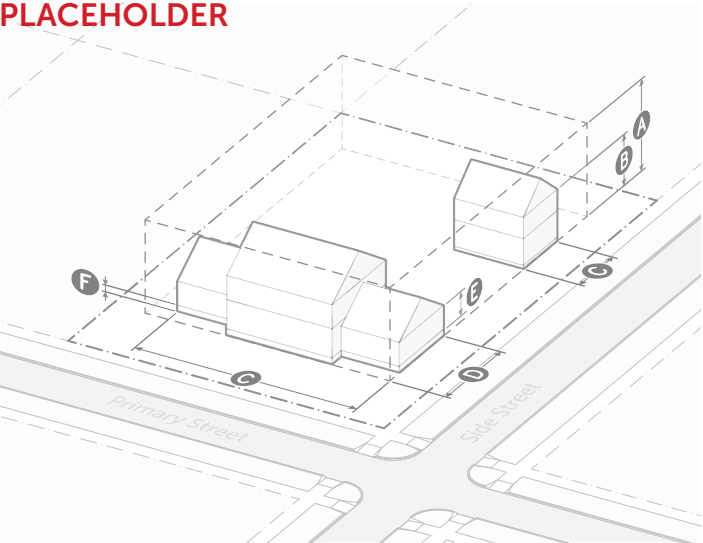


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 60'
E Side street	30'
F Side setback (min)	15'
G Rear setback (min)	30'
6. Parking Location	Sec. XX.XX.
Primary street setback	Driveway only
Side street setback	Driveway only
Side / rear setback	Allowed

H3 HOUSE 3

B. Building Standards

PLACEHOLDER

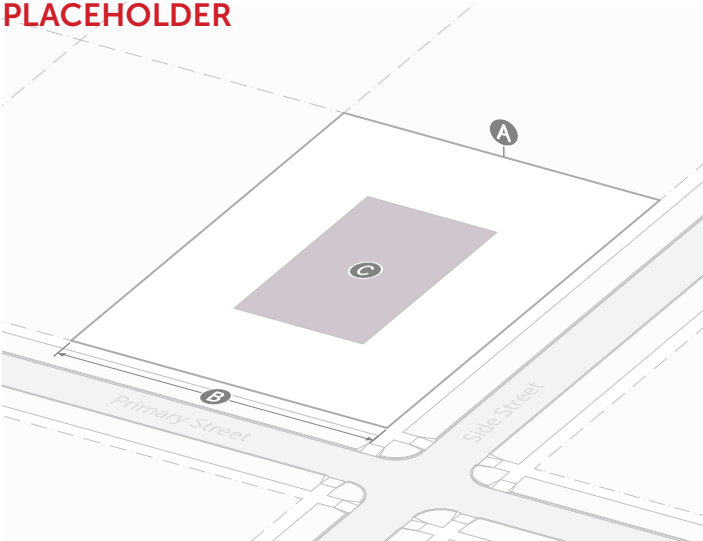


1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'
3. Fences and Walls	Sec. XX.XX.
Primary street setback	Type 1
Side street setback	Type 2
Side / rear setback	Type 3

SEC. 2.2.6. **H4** HOUSE 4

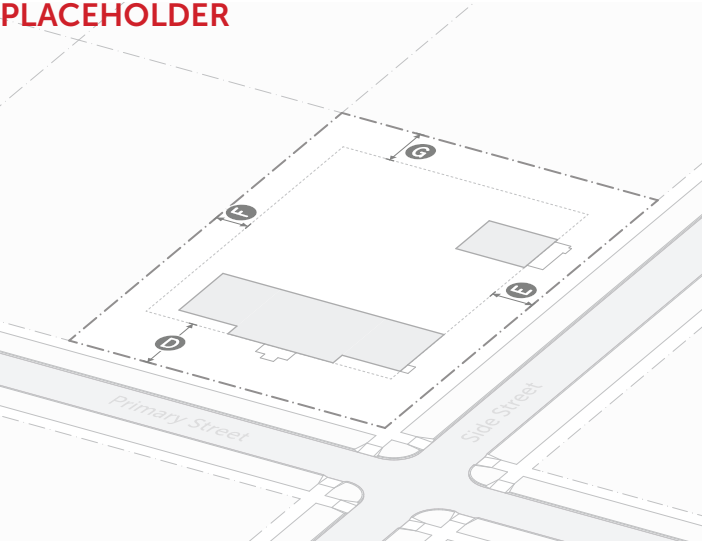
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	28,000 sf
B Lot width (min)	100'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.4
3. Coverage	Sec. XX.XX.
C Lot coverage (max)	40%
4. Streetscape	Sec. XX.XX.
Amenity zone	Not required
Pedestrian zone	Not required

PLACEHOLDER

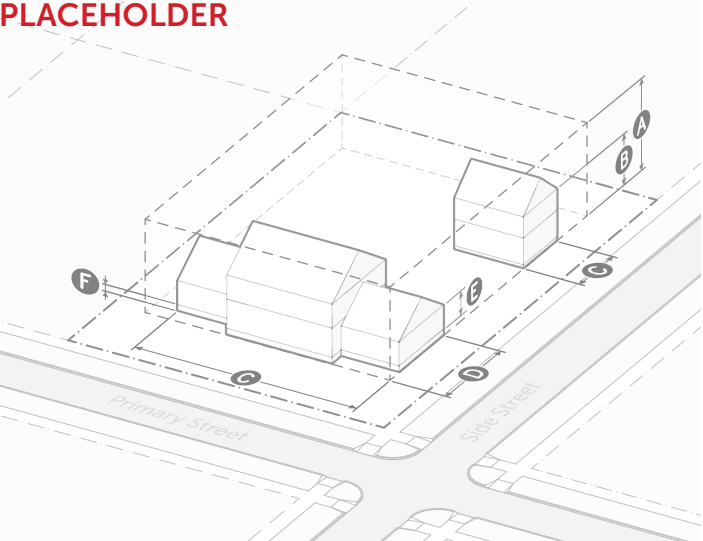


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 50'
E Side street	25'
F Side setback (min)	10'
G Rear setback (min)	20'
6. Parking Location	Sec. XX.XX.
Primary street setback	Driveway only
Side street setback	Driveway only
Side / rear setback	Allowed

H4 HOUSE 4

B. Building Standards

PLACEHOLDER

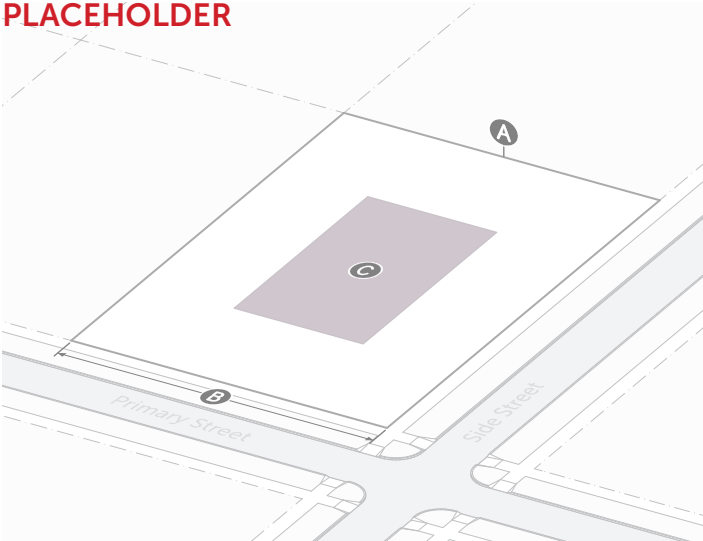


1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'
3. Fences and Walls	Sec. XX.XX.
Primary street setback	Type 1
Side street setback	Type 2
Side / rear setback	Type 3

SEC. 2.2.7. H5 HOUSE 5

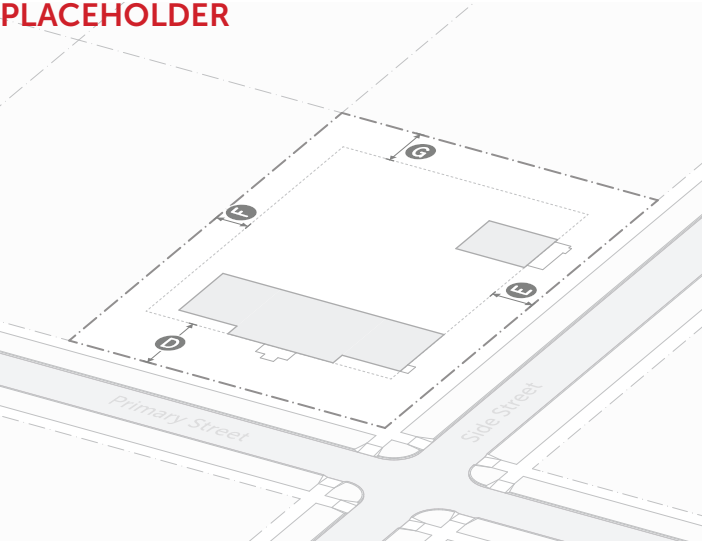
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	18,000 sf
B Lot width (min)	100'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.4
3. Coverage	Sec. XX.XX.
C Lot coverage (max)	40%
4. Streetscape	Sec. XX.XX.
Amenity zone	Not required
Pedestrian zone	Not required

PLACEHOLDER

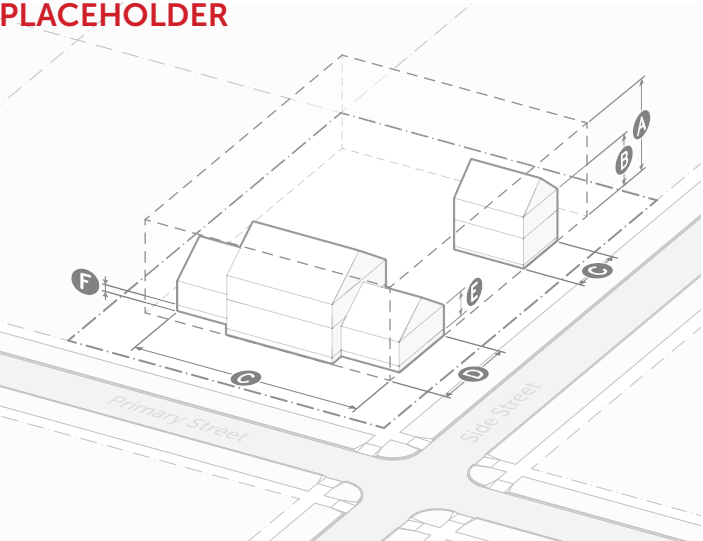


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
E Primary street	Existing range or 50'
E Side street	25'
F Side setback (min)	10'
G Rear setback (min)	20'
6. Parking Location	Sec. XX.XX.
Primary street setback	Driveway only
Side street setback	Driveway only
Side / rear setback	Allowed

H5 HOUSE 5

B. Building Standards

PLACEHOLDER

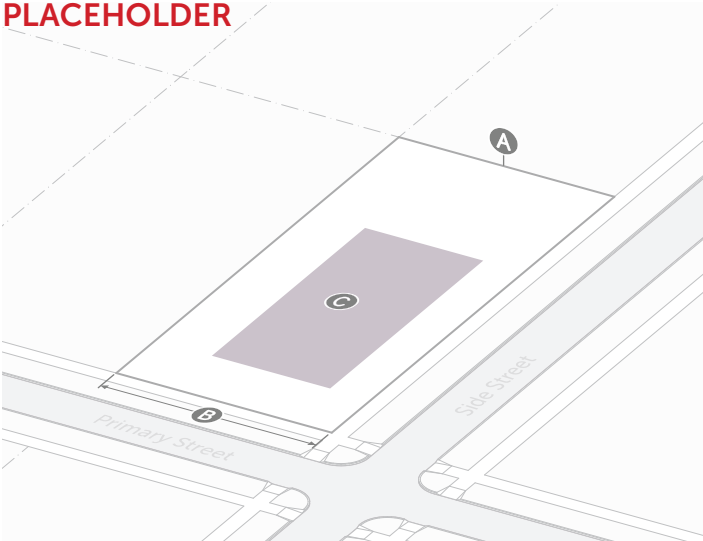


1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'
3. Fences and Walls	Sec. XX.XX.
Primary street setback	Type 1
Side street setback	Type 2
Side / rear setback	Type 3

SEC. 2.2.8. H6 HOUSE 6

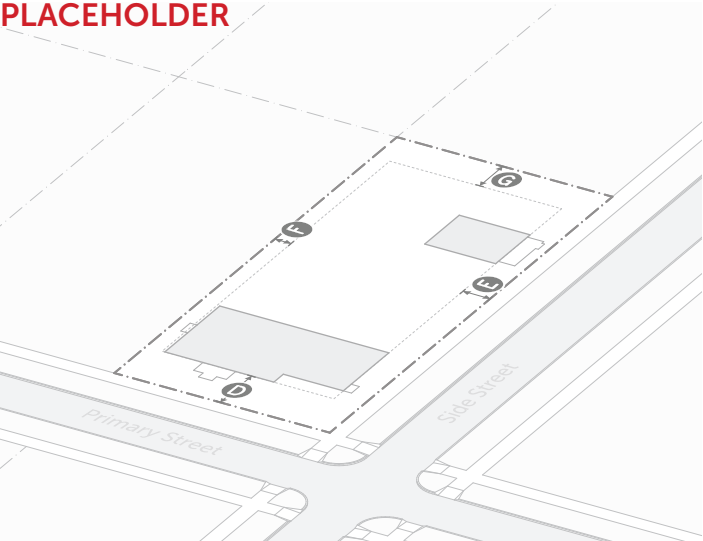
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	13,500 sf
B Lot width (min)	85'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.45
3. Coverage	Sec. XX.XX.
C Lot coverage (max)	45%
4. Streetscape	Sec. XX.XX.
Amenity zone	Not required
Pedestrian zone	Not required

PLACEHOLDER

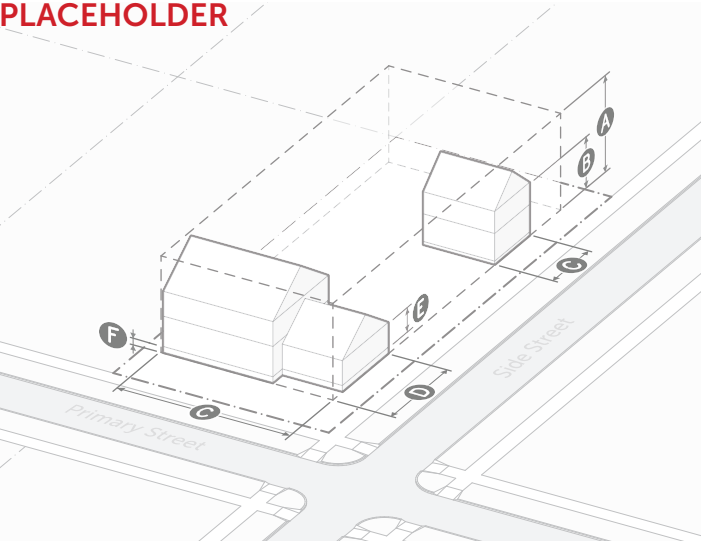


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 50'
E Side street	25'
F Side setback (min)	10'
G Rear setback (min)	15'
6. Parking Location	Sec. XX.XX.
Primary street setback	Driveway only
Side street setback	Driveway only
Side / rear setback	Allowed

H6 HOUSE 6

B. Building Standards

PLACEHOLDER

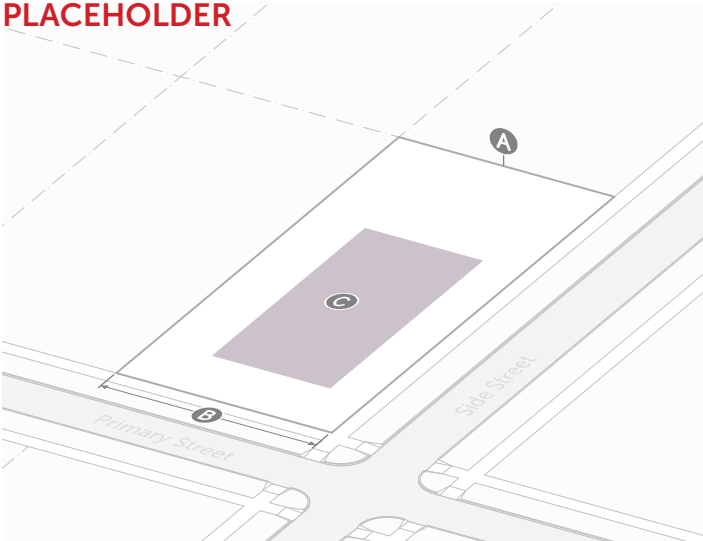


1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'
3. Fences and Walls	Sec. XX.XX.
Primary street setback	Type 1
Side street setback	Type 2
Side / rear setback	Type 3

SEC. 2.2.9. **CN1** CONSERVATION 1

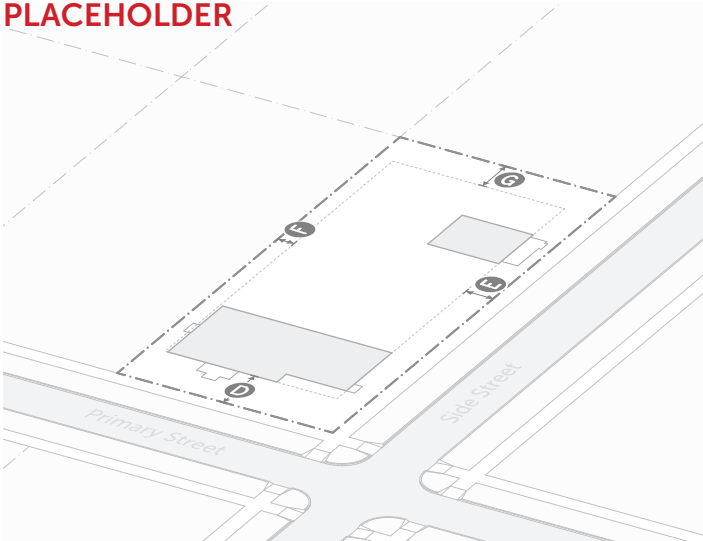
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	13,500 sf
B Lot width (min)	85'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.45
3. Coverage	Sec. XX.XX.
C Lot coverage (max)	45%
4. Streetscape	Sec. XX.XX.
Amenity zone	Not required
Pedestrian zone	Not required

PLACEHOLDER

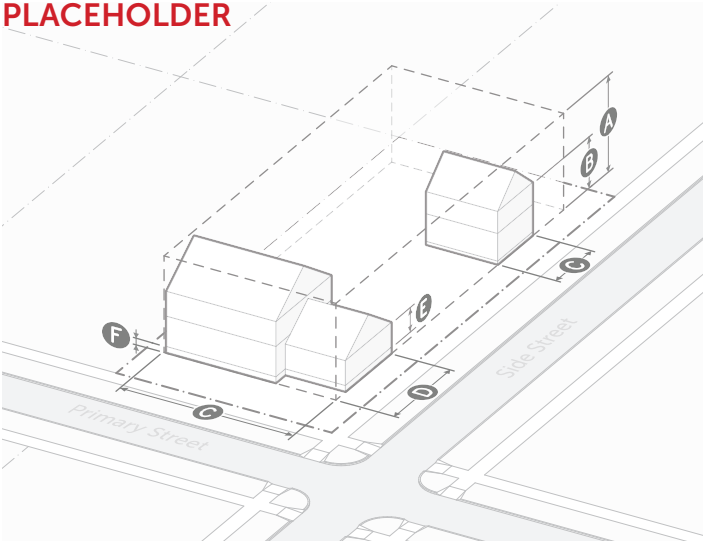


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range
E Side street	25'
F Side setback (min)	10'
G Rear setback (min)	15'
6. Parking Location	Sec. XX.XX.
Primary street setback	Driveway only
Side street setback	Driveway only
Side / rear setback	Allowed

CN1 CONSERVATION 1

B. Building Standards

PLACEHOLDER

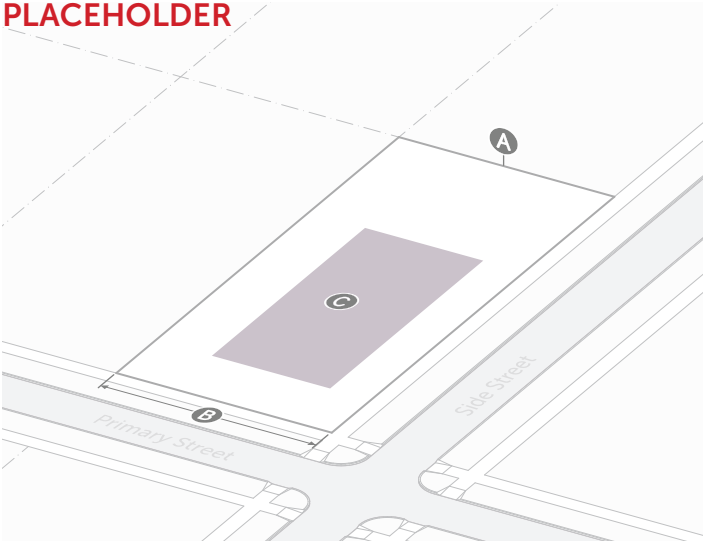


1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	Match existing
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'
3. Fences and Walls	Sec. XX.XX.
Primary street setback	Type 1
Side street setback	Type 2
Side / rear setback	Type 3

SEC. 2.2.10. CN2 CONSERVATION 2

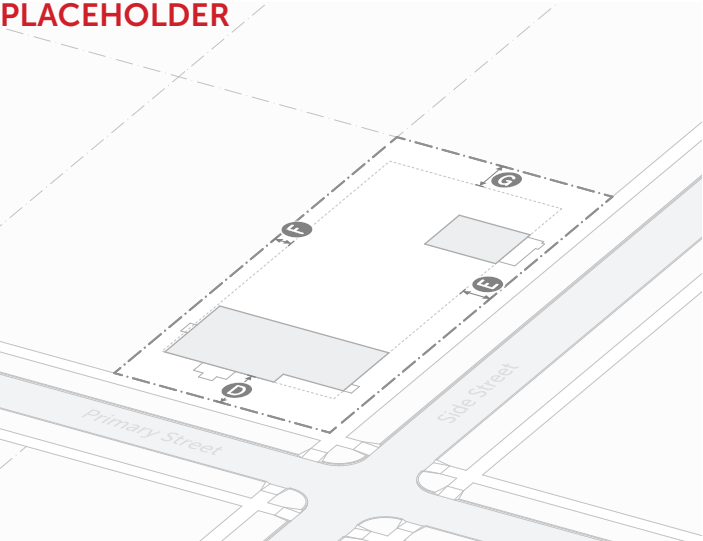
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	9,000 sf
B Lot width (min)	70'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.5
3. Coverage	Sec. XX.XX.
Building coverage (max)	40%
C Lot coverage (max)	50%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

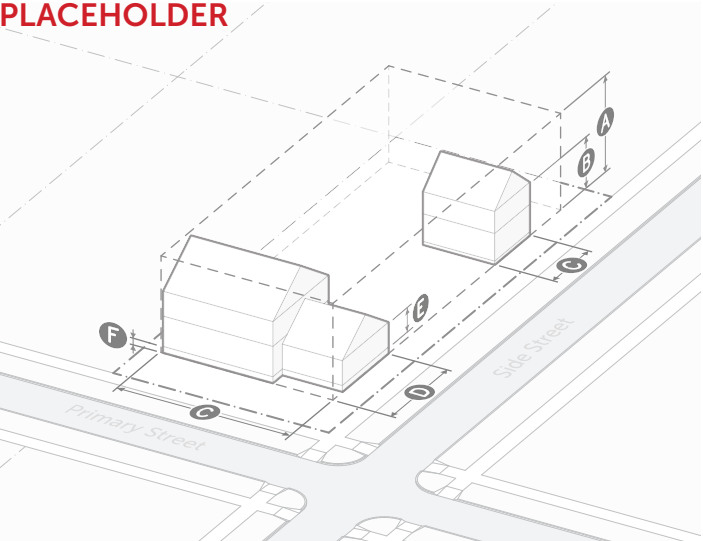


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range
E Side street	15'
F Side setback (min)	
One side	4'
Cumulative	14'
G Rear setback (min)	
Primary structure	15'
Accessory structure	10'
6. Parking Location	Sec. XX.XX.
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

CN2 CONSERVATION 2

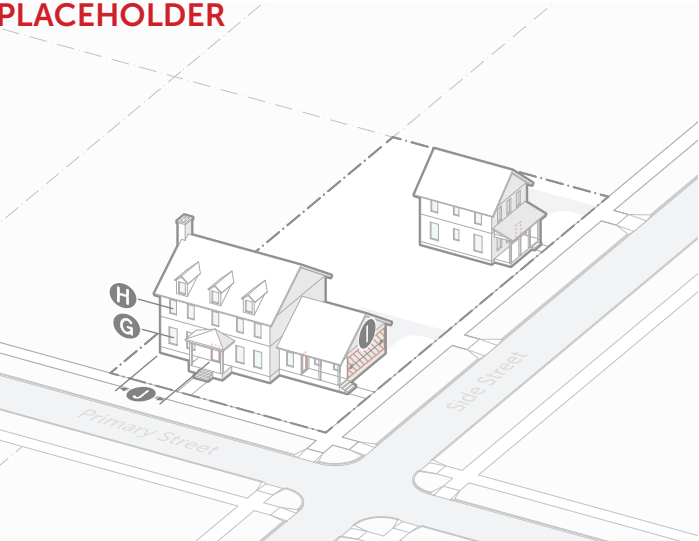
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	Match existing
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'

PLACEHOLDER



3. Windows and Doors	Sec. XX.XX.
G Ground story windows (min)	
Primary street	20%
Side street	15%
H Upper story windows (min)	10%
I Blank wall width (max)	20'
J Street-facing entry	Required
4. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

DIVISION 2.3. NEIGHBORHOOD-SCALE DISTRICTS

PLACEHOLDER
FOR GRAPHIC

Sec. 2.3.1. Intent

Neighborhood-Scale Form Districts are intended to accommodate lower intensity neighborhood areas with small to medium lot sizes and moderate lot coverage, and are generally in areas within walking distance of neighborhood-serving retail, service, and other commercial uses. The number of dwelling units allowed on each lot varies by Form District.

Typically Neighborhood-Scale Form Districts are paired with Use Districts that primarily allow household living uses and some civic uses. Sometimes Neighborhood-Scale Form Districts are paired with Use Districts that allow neighborhood-serving commercial uses that are limited in size and extent.

Sec. 2.3.2. Summary of Districts

The following table includes a summary of some requirements for each Neighborhood-Scale Form District. Detailed requirements are further described in this Division.

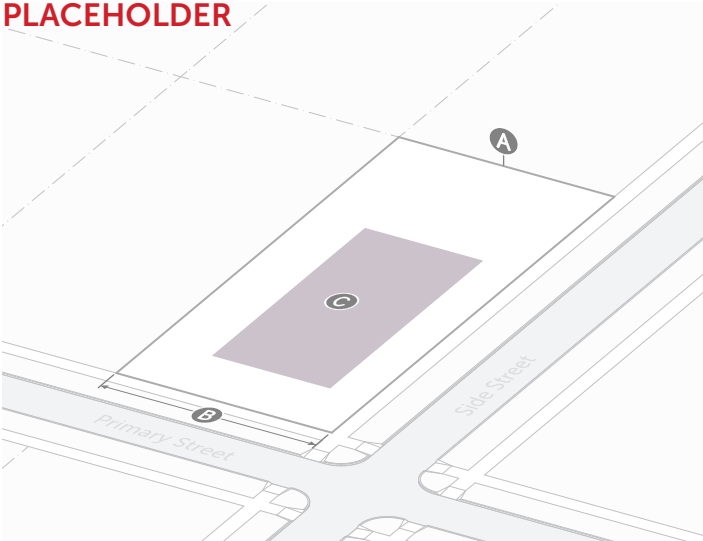
NEIGHBORHOOD-SCALE DISTRICTS					
District	Lot Area (min)	Lot Width (min)	Dwelling Units (max)	FAR (NLA max)	Height (max)
N1	9,000 sf	70'	1	0.50	2.5 stories / 35'
N2A	7,500 sf	50'	1	0.55	2.5 stories / 35'
N2B	7,500 sf	50'	2	0.60	2.5 stories / 35'
N3A	5,000 sf	40'	1	0.60	2.5 stories / 35'
N3B	5,000 sf	40'	2	0.65	2.5 stories / 35'
N4A	2,800 sf	40'	1	0.65	2.5 stories / 35'
N4B	2,800 sf	40'	2	0.70	2.5 stories / 35'
N5A	2,000 sf	25'	6	None	2.5 stories / 35'
N5B	2,000 sf	25'	12	None	3 stories / 35'
N6A	2,000 sf	20'	Unlimited	1.0	3 stories / 40'
N6B	2,000 sf	20'	Unlimited	1.75	4 stories / 50'

SEC. 2.3.3. N1 NEIGHBORHOOD 1

004

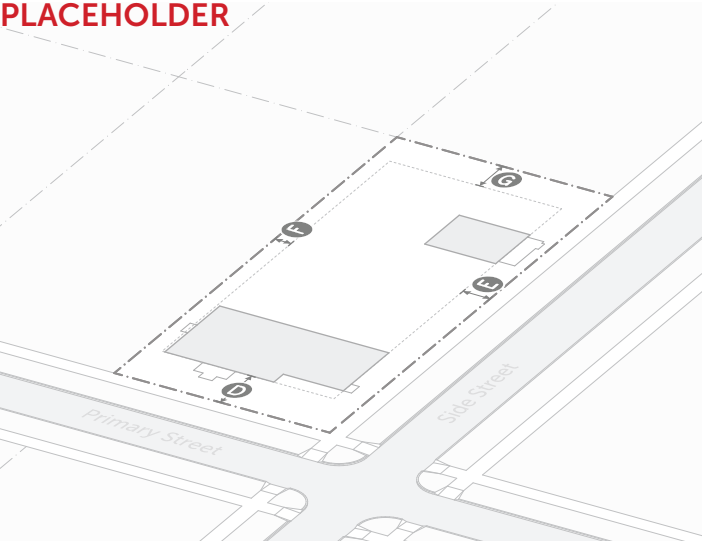
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	9,000 sf
B Lot width (min)	70'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.5
3. Coverage	Sec. XX.XX.
Building coverage (max)	40%
C Lot coverage (max)	50%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

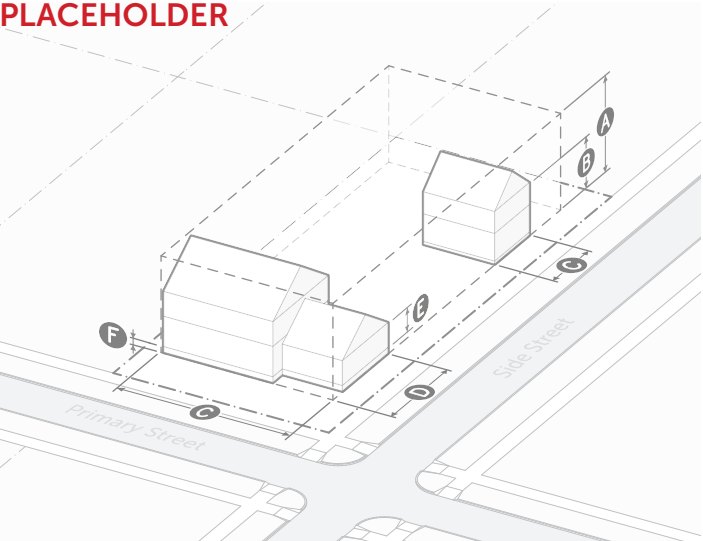


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 35'
E Side street	15'
F Side setback (min)	
One side	002
Cumulative	003 14'
G Rear setback (min)	
Primary structure	15'
Accessory structure	10'
6. Parking Location	Sec. XX.XX.
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

N1 NEIGHBORHOOD 1

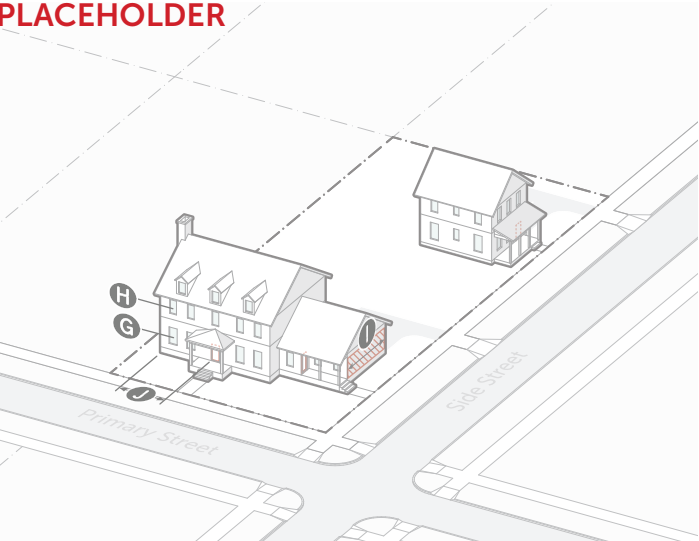
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'

PLACEHOLDER



3. Windows and Doors	Sec. XX.XX.
G Ground story windows (min)	
Primary street	20%
Side street	15% 005
H Upper story windows (min)	10%
I Blank wall width (max)	20'
J Street-facing entry	Required
4. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

#002

Posted by **JWS** on **01/21/2025** at **1:11pm** [Comment ID: 915] - [Link](#)

Question

Agree: 0, Disagree: 0

The "code testing" graphic for N1 - R2 shows a 4ft setback with total of 14ft which is accurate?

Reply by **SiteAdmin** on **01/21/2025** at **1:57pm** [Comment ID: 917] - [Link](#)

Answer

Agree: 0, Disagree: 0

This code and the code testing graphic both show the same requirement. The smallest setback allowed on any one side is 4 feet, but total cumulative setback of both sides is 14 feet. One side could be 4 and the other 10, one 5 and the other 9, or both 7 feet (current standard).

#003

Posted by **Jennifer Friese** on **11/24/2024** at **5:23pm** [Comment ID: 577] - [Link](#)

Suggestion

Agree: 0, Disagree: 0

I still find this adjustable side set back problematic. It allows for the possibility of two 35' high houses to be built at 4' from each other. 8' between houses is a fire hazard, it does not allow for air, light nor privacy. I understand that this was put in place to better respect trees yet I fear it will prevent any trees being able to grow between close houses.

#004

Posted by **mdolan** on **02/27/2025** at **2:25pm** [Comment ID: 1108] - [Link](#)

Agree: 0, Disagree: 0

The number of form districts for what is essentially single-family zoning is overwhelming. I don't understand why this level of nuance is important, especially since most historic neighborhoods are filled with setback/FAR nonconformities and function fine. Is it possible to eliminate any of these categories so that it's easier for citizens to understand and so that developers can have by-right potential on oddly shaped lots?

Reply by **SiteAdmin** on **02/28/2025** at **8:11am** [Comment ID: 1111] - [Link](#)

Answer

Agree: 0, Disagree: 0

Thank you for your feedback. Based on strong public sentiment, we have maintained the R4, R4A, R4B, and R5 zoning districts in most areas rather than consolidating them, which we explored but found unviable. We acknowledge that in some cases, these districts do not perfectly align with existing development patterns, particularly regarding setbacks. The proposed setback updates aim to support more compatible development by right, even on existing lots that do not meet the district's minimum lot size requirements.

#005

Posted by **mdolan** on **02/27/2025** at **2:18pm** [Comment ID: 1107] - [Link](#)

Agree: 0, Disagree: 0

Why are we creating fenestration requirements for residential? It seems like building code would cover the need for windows from a safety perspective.

Reply by **SiteAdmin** on **02/28/2025** at **8:02am** [Comment ID: 1110] - [Link](#)

Answer

Agree: 0, Disagree: 0

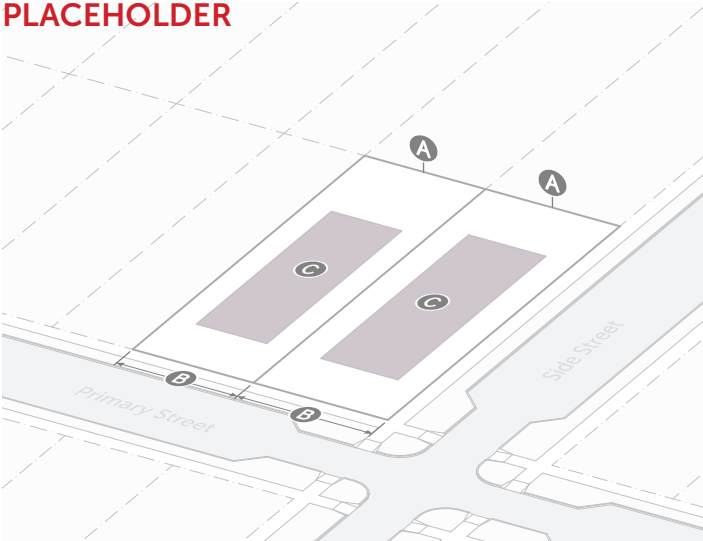
There are currently front window (and door) requirements in most existing zoning districts that apply to urban neighborhood. They seek to prevent houses with blank walls facing the street, both to reflect existing patterns, and to provide "eyes on the street." Before adopting this standard in 2018, several "modern houses" were built which faced the street with blank walls - these

houses generated negative public comments.

SEC. 2.3.4. N2A NEIGHBORHOOD 2A

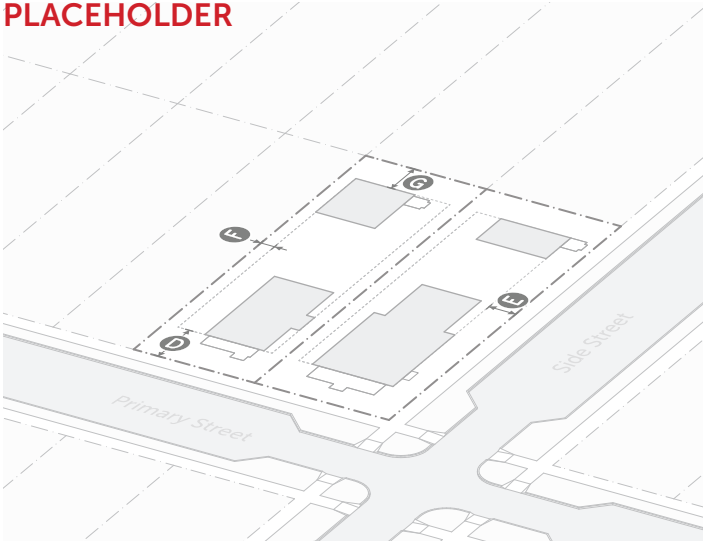
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	7,500 sf
B Lot width (min)	
Front access	50'
Side or rear access	35'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.55
3. Coverage	Sec. XX.XX.
Building coverage (max)	45%
C Lot coverage (max)	006 55%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

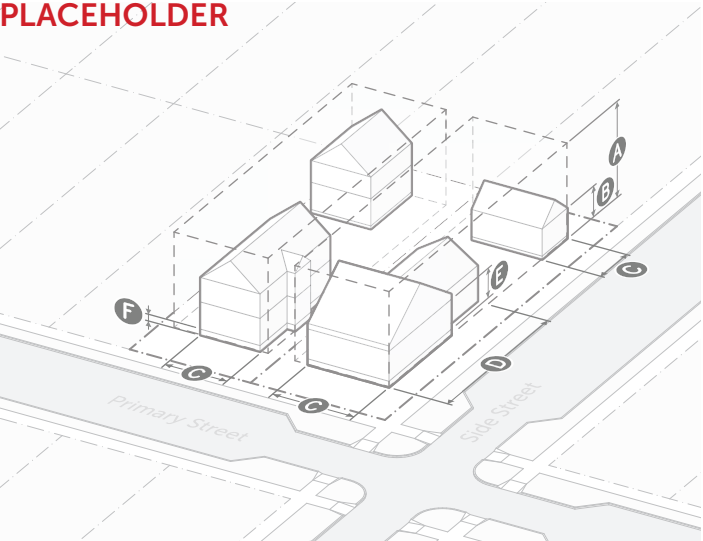


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 30'
E Side street	5'
F Side setback (min)	
One side	3'
Cumulative	10'
G Rear setback (min)	
Primary structure	10'
Accessory structure	4'
6. Parking Location	Sec. XX.XX.
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

N2A NEIGHBORHOOD 2A

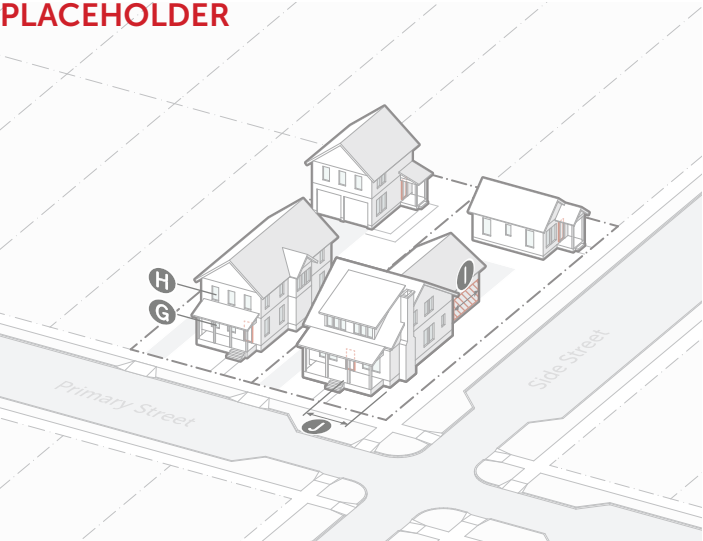
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
B Side wall height (max)	28'
Building width (max)	
C Primary street	50'
D Side street	80'
2. Ground Story	Sec. XX.XX.
E Ground story height (min)	9'
F Ground story elevation (min/max)	0' / 4'

PLACEHOLDER



3. Windows and Doors	Sec. XX.XX.
G Ground story windows (min)	
Primary street	20%
Side street	15%
H Upper story windows (min)	10%
I Blank wall width (max)	20'
J Street-facing entry	Required
4. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

#006

Posted by **DSol** on **01/03/2025** at **8:11am** [Comment ID: 808] - [Link](#)

Suggestion

Agree: 0, Disagree: 0

Lot coverage should be closer to 50% to maintain the watershed. So many of us live along creeks that flood because there is not enough penetrable surfaces surrounding due to densification and concrete.

Reply by **SiteAdmin** on **01/06/2025** at **11:14am** [Comment ID: 823] - [Link](#)

Answer

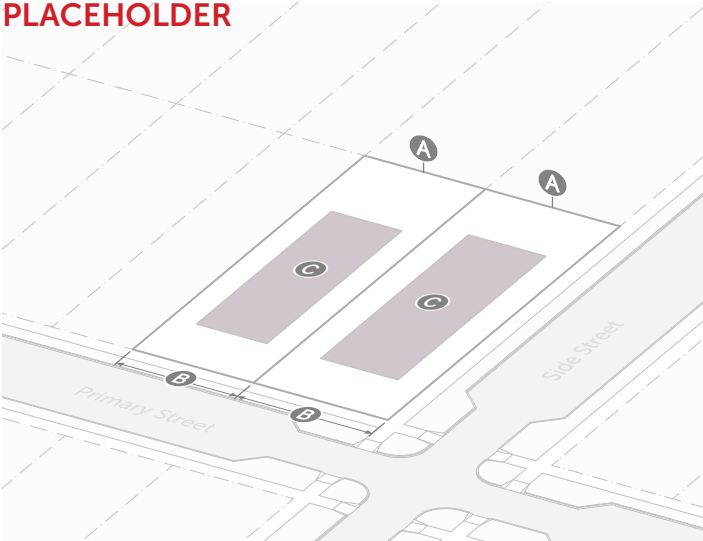
Agree: 0, Disagree: 0

Thank you for your feedback. N2A is the current R-4A district, which has a max. 55% lot coverage.

SEC. 2.3.5. N2B NEIGHBORHOOD 2B

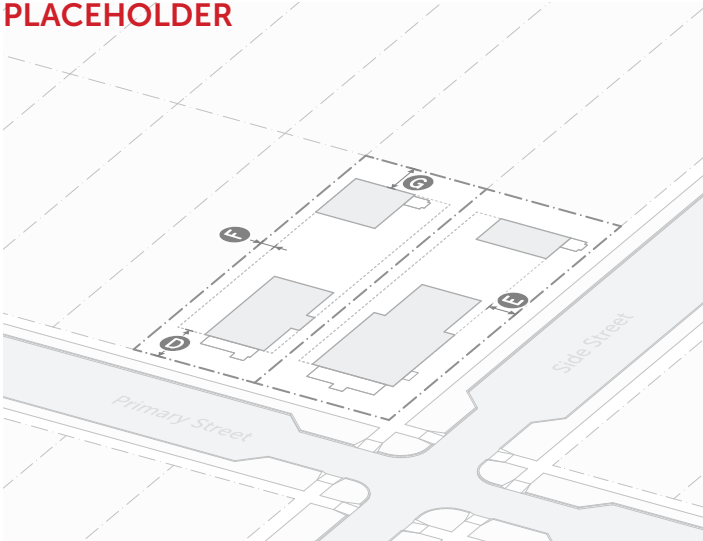
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	7,500 sf
B Lot width (min)	
Front access	50'
Side or rear access	35'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	2
FAR (NLA max)	0.6
3. Coverage	Sec. XX.XX.
Building coverage (max)	45%
C Lot coverage (max)	007 55%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

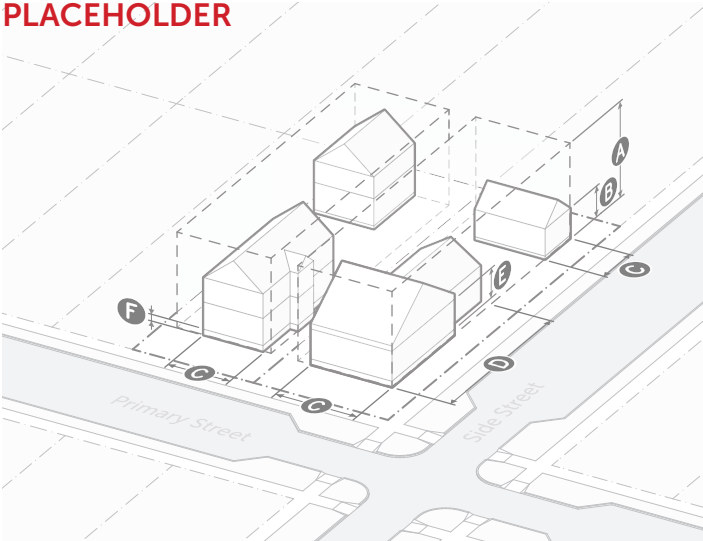


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 15' / 30'
E Side street	5'
F Side setback (min)	
One side	3'
Cumulative	10'
G Rear setback (min)	
Primary structure	7'
Accessory structure	4'
6. Build-To	Sec. XX.XX.
Build-to width (min)	
Primary street	50%
Side street	None
7. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

N2B NEIGHBORHOOD 2B

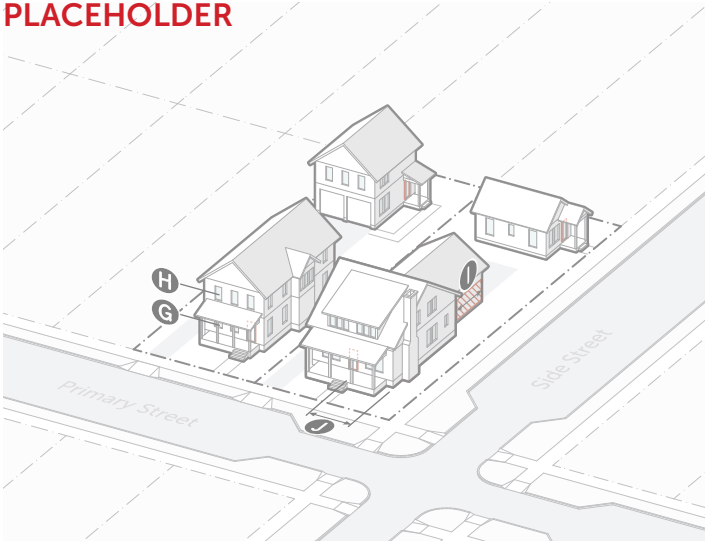
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
B Side wall height (max)	28'
Building width (max)	
C Primary street	50'
D Side street	80'
2. Activation	Sec. XX.XX.
Active depth (min)	
Primary street	10'
Side street	None
3. Ground Story	Sec. XX.XX.
E Ground story height (min)	9'
F Ground story elevation (min/max)	0' / 4'

PLACEHOLDER



4. Windows and Doors	Sec. XX.XX.
G Ground story windows (min)	
Primary street	20%
Side street	15%
H Upper story windows (min)	10%
I Blank wall width (max)	20'
J Street-facing entry	Required
5. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

#007

Posted by **DSol** on **01/03/2025** at **8:12am** [Comment ID: 809] - [Link](#)

Suggestion

Agree: 0, Disagree: 0

Lot coverage should be closer to 50% to maintain the watershed. So many of us live along creeks that flood because there is not enough penetrable surfaces surrounding due to densification and concrete.

Reply by **SiteAdmin** on **01/06/2025** at **11:15am** [Comment ID: 824] - [Link](#)

Answer

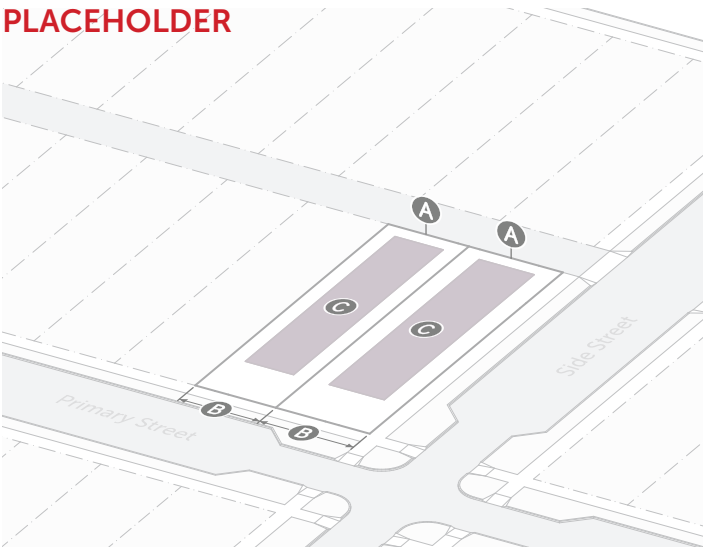
Agree: 0, Disagree: 0

Thank you for your feedback. N2B is the current R-5 district, which has a max. 55% lot coverage.

SEC. 2.3.6. N3A NEIGHBORHOOD 3A

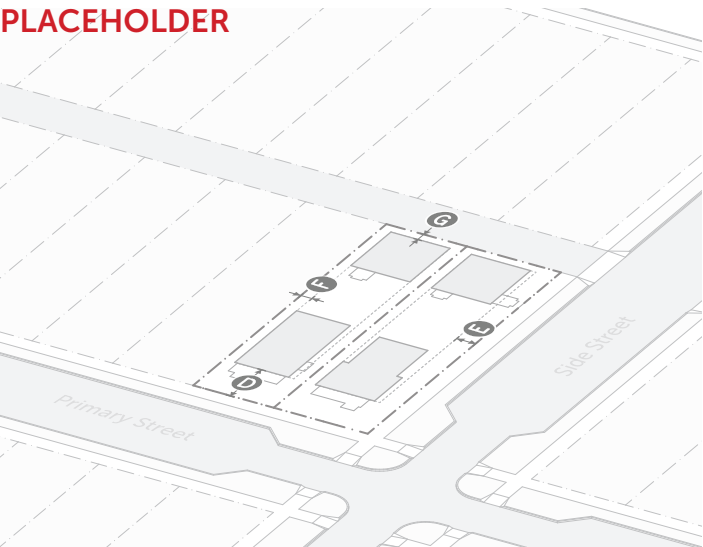
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	5,000 sf
B Lot width (min)	
Front access	40'
Side or rear access	25'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.6
3. Coverage	Sec. XX.XX.
C Building coverage (max)	60%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

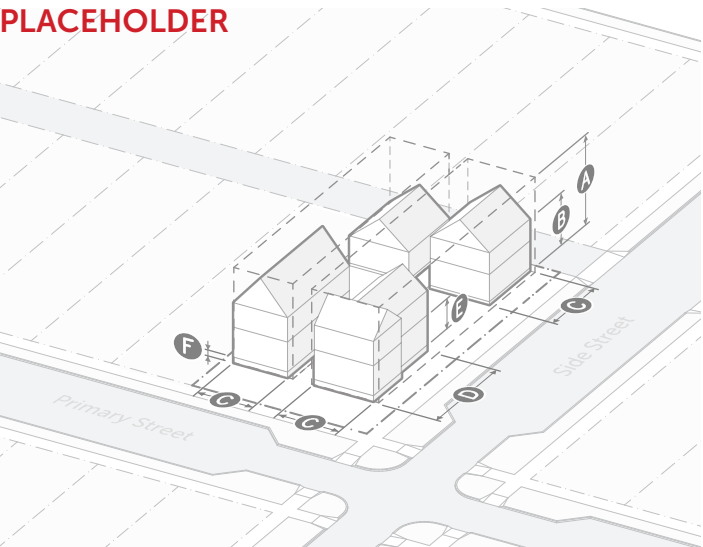


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 20'
E Side street	5'
F Side setback (min)	
One side	3'
Cumulative	10'
G Rear setback (min)	
Primary structure	7'
Accessory structure	4'
6. Parking Location	Sec. XX.XX.
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

N3A NEIGHBORHOOD 3A

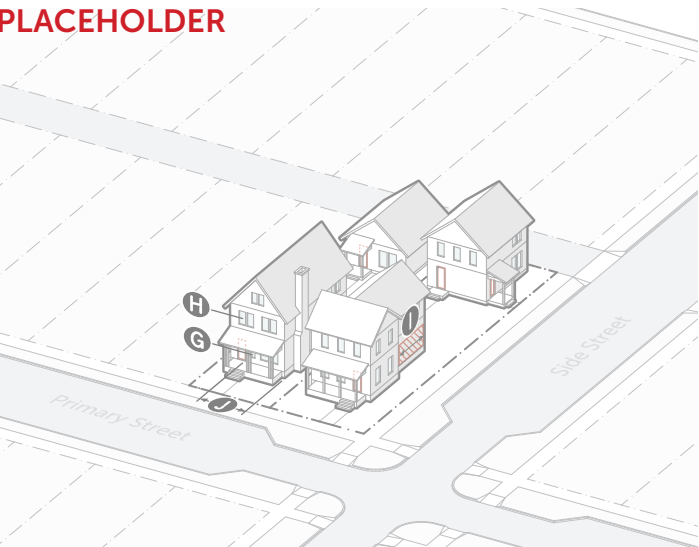
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
B Side wall height (max)	28'
Building width (max)	
C Primary street	40'
D Side street	70'
2. Ground Story	Sec. XX.XX.
E Ground story height (min)	9'
F Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

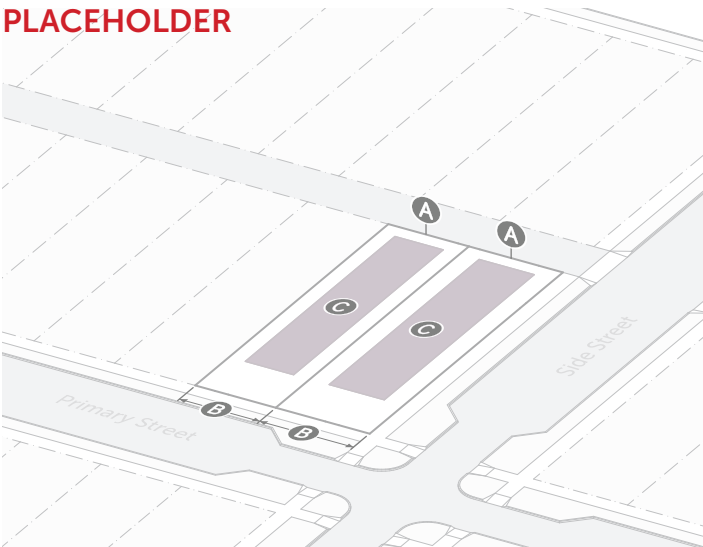


3. Windows and Doors	Sec. XX.XX.
G Ground story windows (min)	
Primary street	20%
Side street	15%
H Upper story windows (min)	10%
I Blank wall width (max)	20'
J Street-facing entry	Required
4. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

SEC. 2.3.7. N3B NEIGHBORHOOD 3B

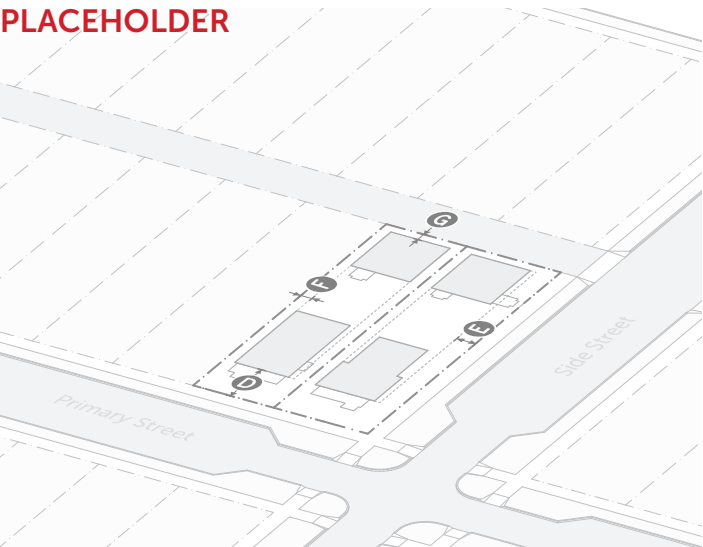
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	5,000 sf
B Lot width (min)	
Front access	40'
Side or rear access	25'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	2
FAR (NLA max)	0.65
3. Coverage	Sec. XX.XX.
C Building coverage (max)	60%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

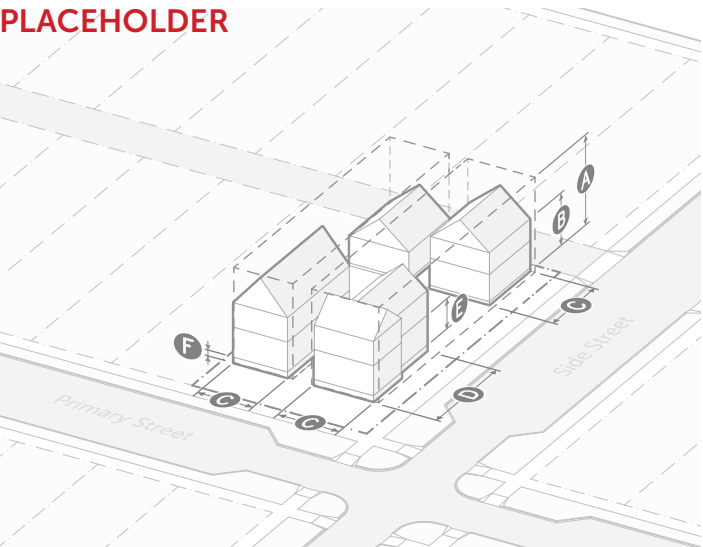


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 15' / 30'
E Side street	7'
F Side setback (min)	
One side	3'
Cumulative	10'
J Rear setback (min)	
Primary structure	7'
Accessory structure	4'
6. Build-To	Sec. XX.XX.
Build-to width (min)	
Primary street	50%
Side street	None
7. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

N3B NEIGHBORHOOD 3B

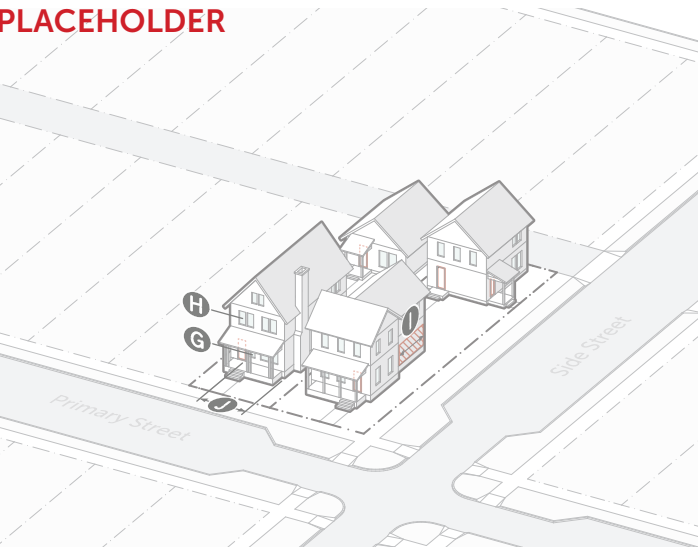
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
B Side wall height (max)	28'
Building width (max)	
C Primary street	40'
D Side street	70'
2. Activation	Sec. XX.XX.
Active depth (min)	
Primary street	10'
Side street	None
3. Ground Story	Sec. XX.XX.
E Ground story height (min)	9'
F Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

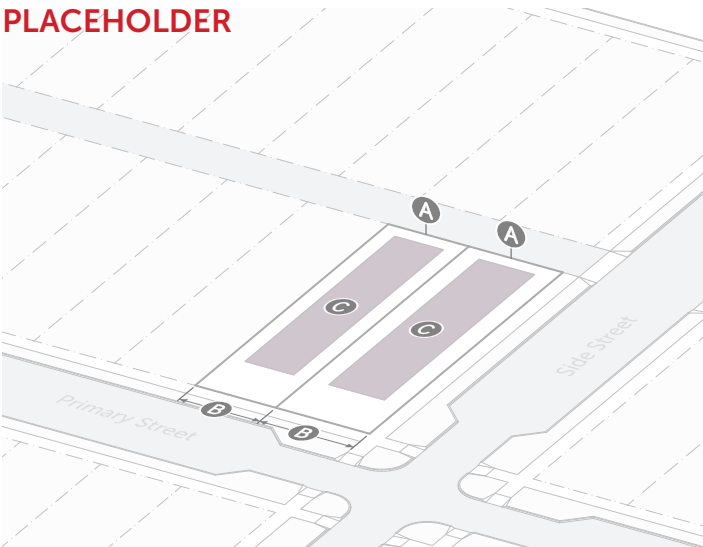


4. Windows and Doors	Sec. XX.XX.
G Ground story windows (min)	
Primary street	20%
Side street	15%
H Upper story windows (min)	10%
I Blank wall width (max)	20'
J Street-facing entry	Required
5. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

SEC. 2.3.8. N4A NEIGHBORHOOD 4A

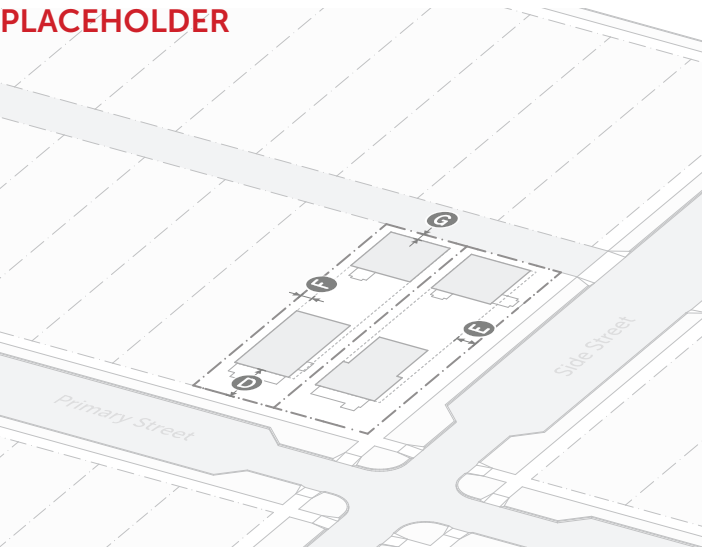
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	2,800 sf
B Lot width (min)	
Front access	40'
Side or rear access	25'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.65
3. Coverage	Sec. XX.XX.
C Building coverage (max)	65%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

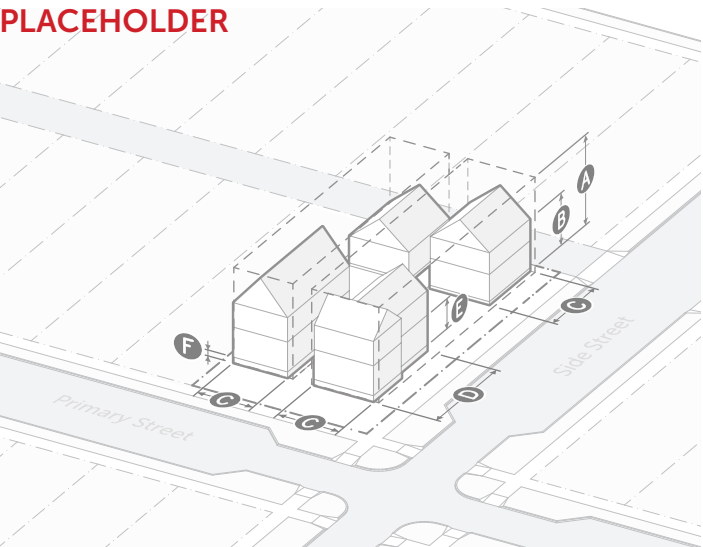


5. Building Setbacks	Sec. XX.XX.
D Street setback (min)	
Primary street	Existing range or 20'
Side street	5'
E Side setback (min)	
One side	3'
Cumulative	10'
F Rear setback (min)	
Primary structure	5'
Accessory structure	4'
6. Parking Location	Sec. XX.XX.
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

N4A NEIGHBORHOOD 4A

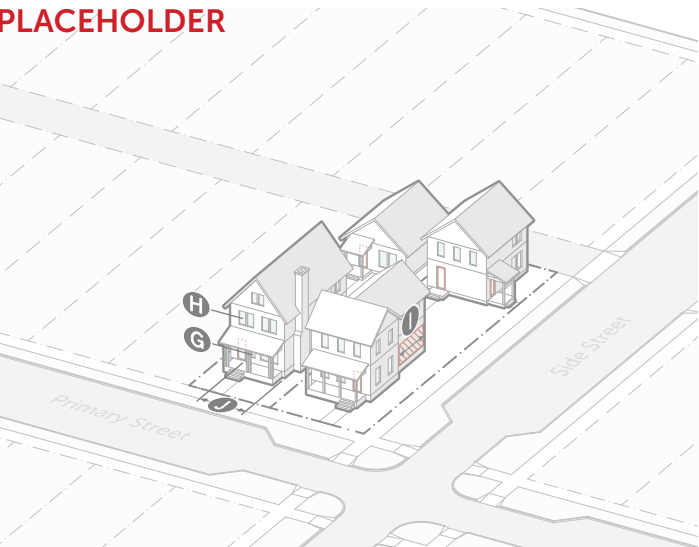
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
B Side wall height (max)	28'
C Building width (max)	
Primary street	35'
Side street	60'
2. Ground Story	Sec. XX.XX.
D Ground story height (min)	9'
E Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

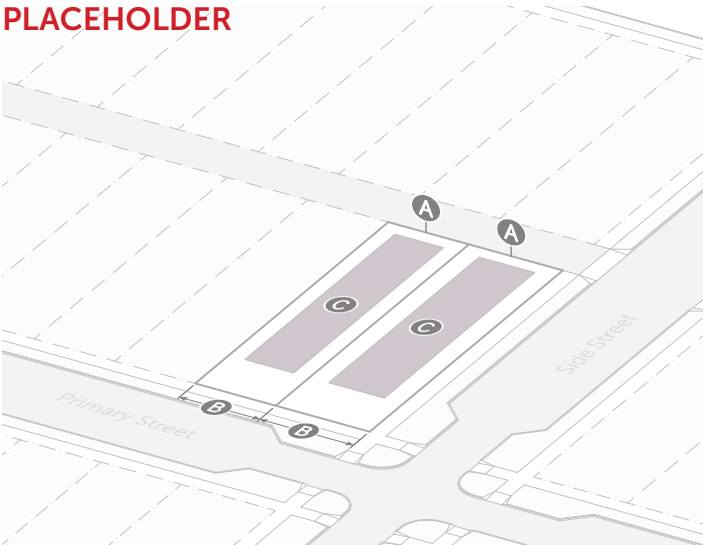


3. Windows and Doors	Sec. XX.XX.
F Ground story windows (min)	
Primary street	20%
Side street	15%
G Upper story windows (min)	10%
H Blank wall width (max)	20'
I Street-facing entry	Required
4. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

SEC. 2.3.9. N4B NEIGHBORHOOD 4B

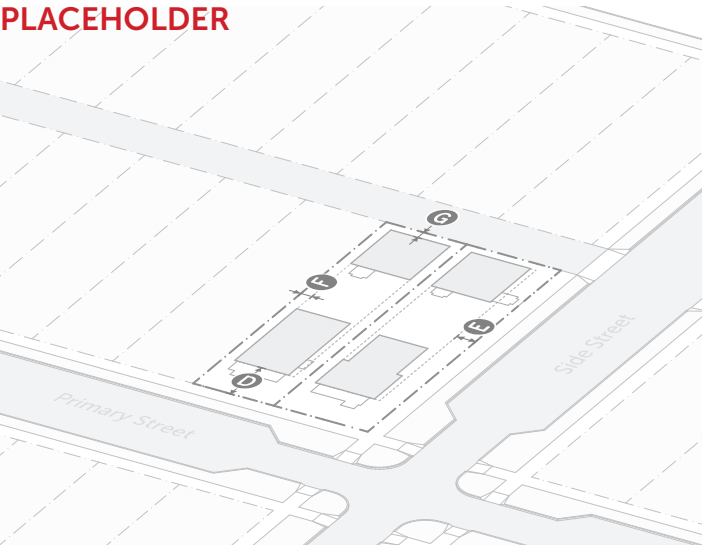
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	2,800 sf
B Lot width (min)	
Front access	40'
Side or rear access	25'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	2
FAR (NLA max)	0.7
3. Coverage	Sec. XX.XX.
C Building coverage (max)	65%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

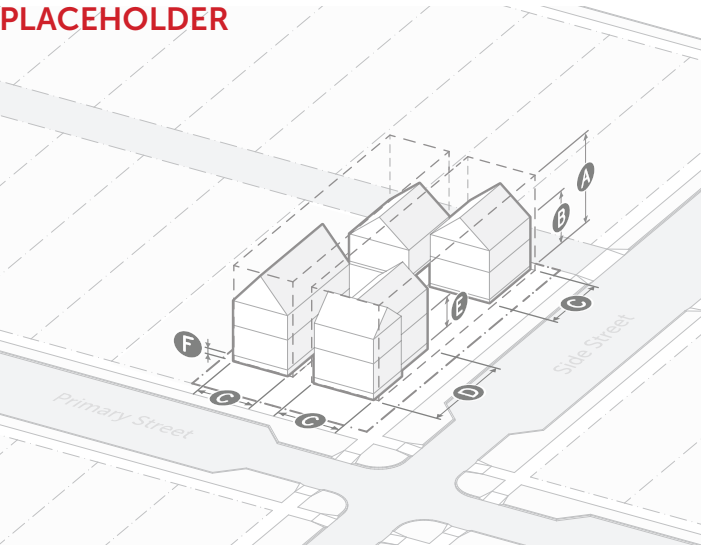


5. Building Setbacks	Sec. XX.XX.
D Street setback (min)	
Primary street	Existing range or 15' / 30'
Side street	5'
E Side setback (min)	
One side	3'
Cumulative	10'
F Rear setback (min)	
Primary structure	5'
Accessory structure	4'
6. Build-To	Sec. XX.XX.
Build-to width (min)	
Primary street	50%
Side street	None
7. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

N4B NEIGHBORHOOD 4B

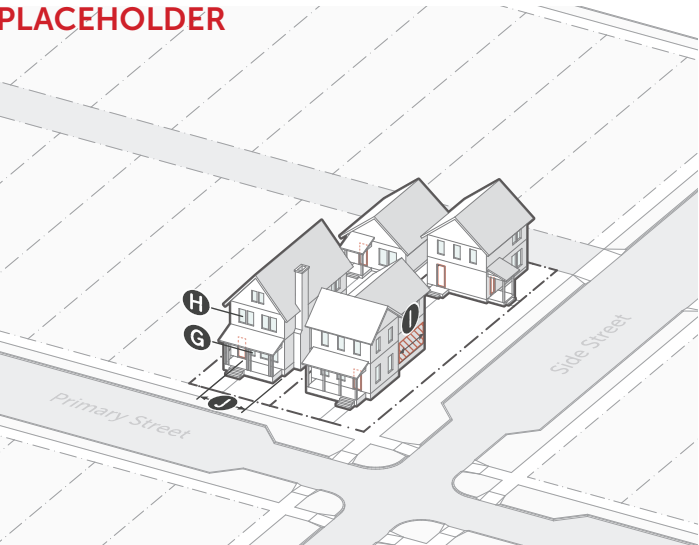
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
B Side wall height (max)	28'
C Building width (max)	
Primary street	35'
Side street	60'
2. Activation	Sec. XX.XX.
Active depth (min)	
Primary street	10'
Side street	None
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	9'
E Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

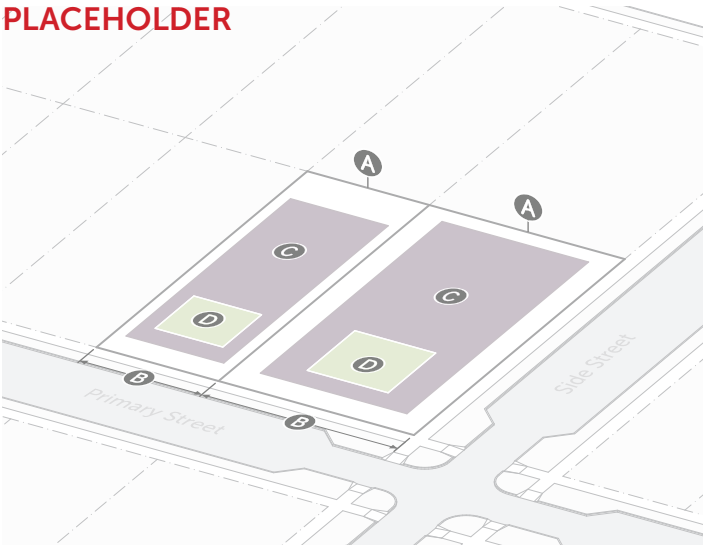


4. Windows and Doors	Sec. XX.XX.
F Ground story windows (min)	
Primary street	20%
Side street	15%
G Upper story windows (min)	10%
H Blank wall width (max)	20'
I Street-facing entry	Required
5. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

SEC. 2.3.10. N5A NEIGHBORHOOD 5A

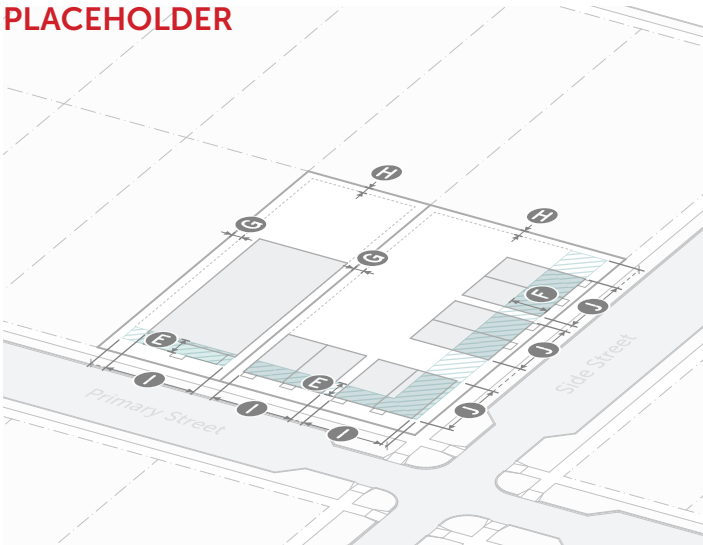
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	2,000 sf
B Lot width (min)	25'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	6
3. Coverage	Sec. XX.XX.
C Building coverage (max)	65%
D Outdoor amenity space (min)	15%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

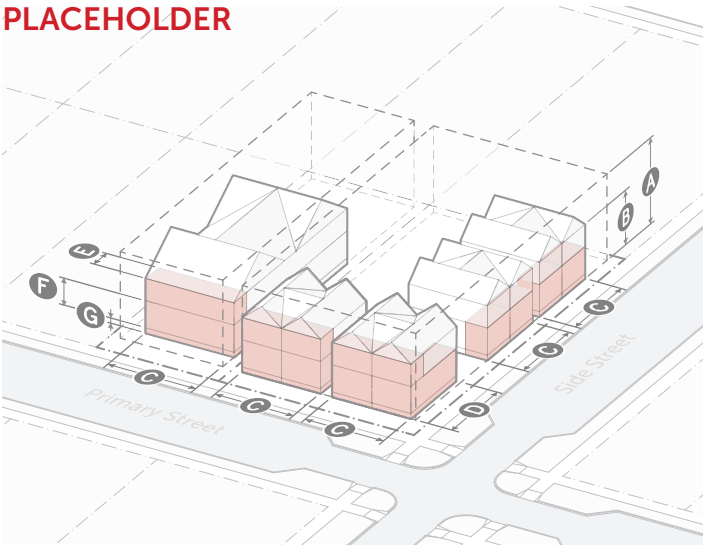


5. Building Setbacks	Sec. XX.XX.
E Street setback (min)	
Primary street	Existing range or 10' / 25'
Side street	5' / 20'
F Side setback (min)	
One side	3'
Cumulative	10'
G Rear setback (min)	7'
6. Build-To	Sec. XX.XX.
Build-to width (min)	
Primary street	65%
Side street	40%
7. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

N5A NEIGHBORHOOD 5A

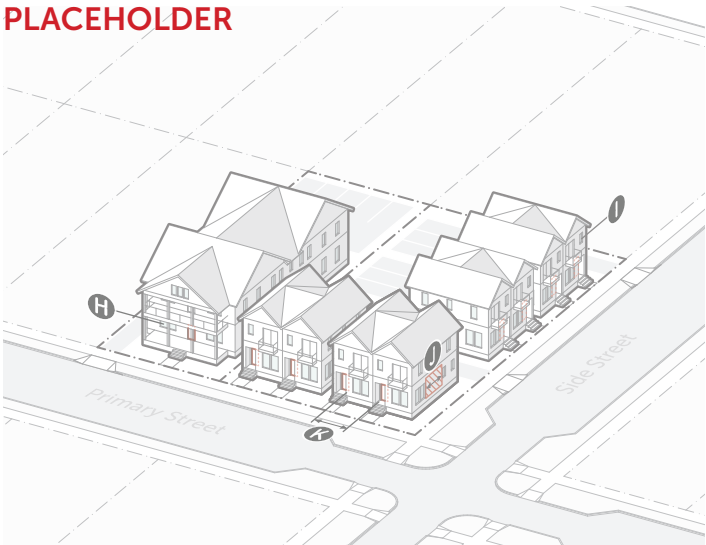
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	2.5 stories / 35'
B Side wall height (max)	28'
C Building width (max)	
Primary street	40'
Side street	90'
2. Activation	Sec. XX.XX.
D Active depth (min)	
Primary street	10'
Side street	10'
3. Ground Story	Sec. XX.XX.
E Ground story height (min)	9'
F Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

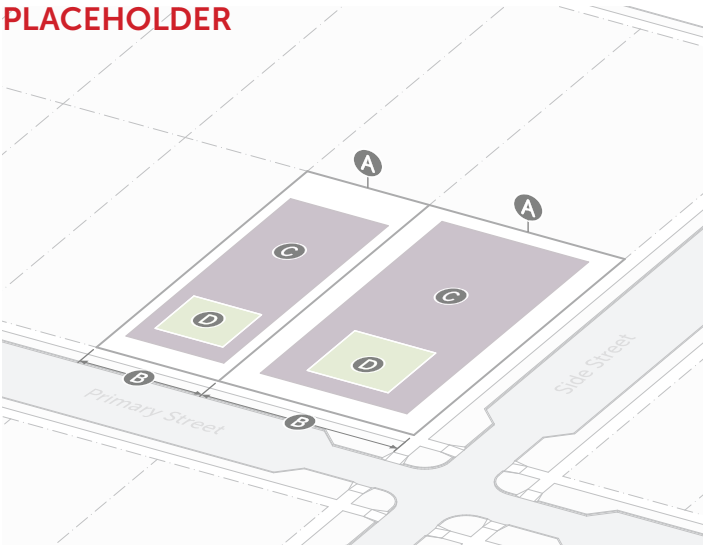


4. Windows and Doors	Sec. XX.XX.
G Ground story windows (min)	
Primary street	20%
Side street	15%
H Upper story windows (min)	10%
I Blank wall width (max)	20'
J Street-facing entry	Required
5. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

SEC. 2.3.11. N5B NEIGHBORHOOD 5B

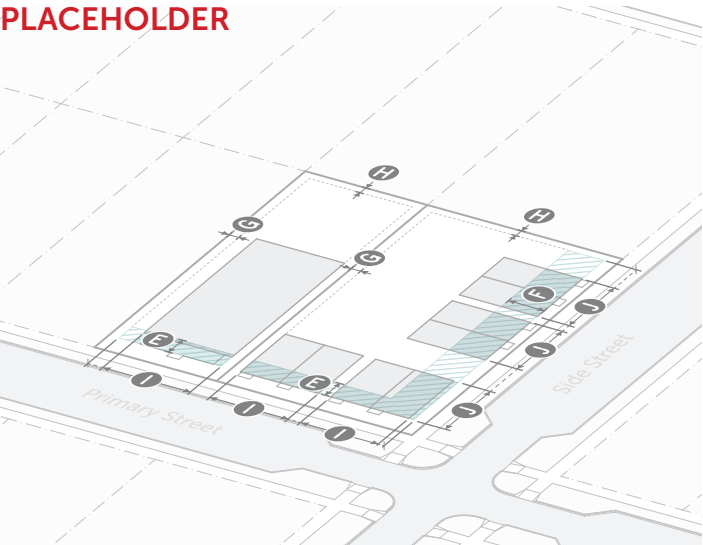
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	2,000 sf
B Lot width (min)	25'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	12
3. Coverage	Sec. XX.XX.
C Building coverage (max)	70%
D Outdoor amenity space (min)	15%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

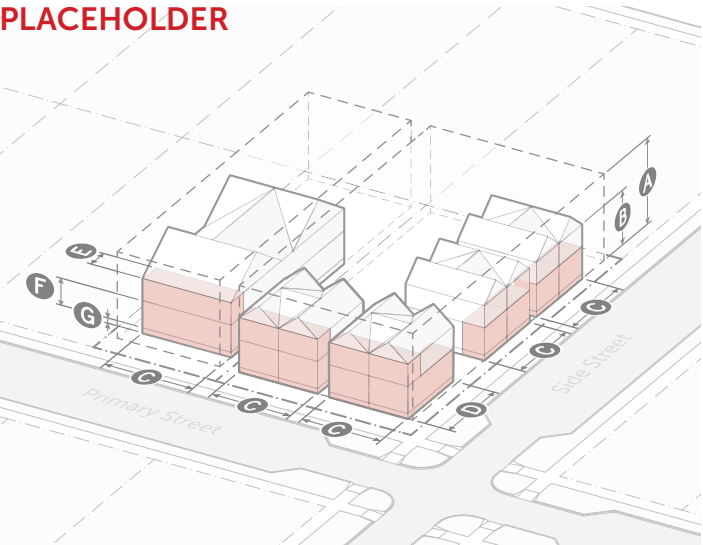


5. Building Setbacks	Sec. XX.XX.
E Street setback (min)	
Primary street	Existing range or 10' / 25'
Side street	5' / 20'
F Side setback (min)	5'
G Rear setback (min)	7'
6. Build-To	Sec. XX.XX.
Build-to width (min)	
Primary street	65%
Side street	40%
7. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

N5B NEIGHBORHOOD 5B

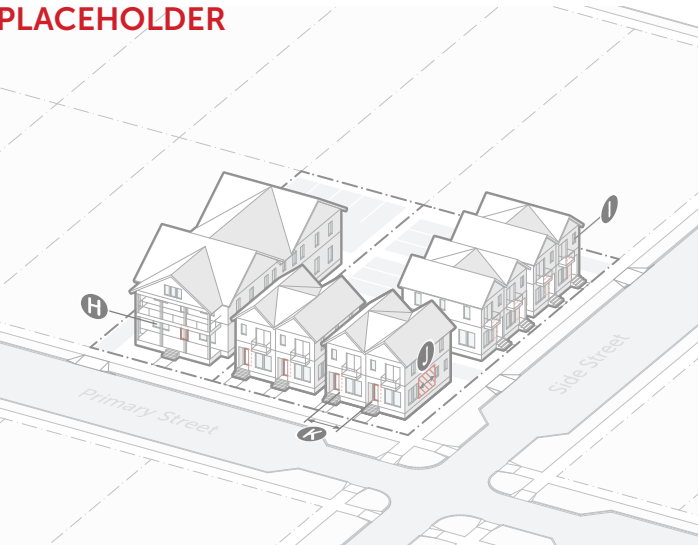
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	3 stories / 35'
B Building width (max)	
Primary street	40'
Side street	90'
2. Activation	Sec. XX.XX.
C Active depth (min)	
Primary street	10'
Side street	10'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	9'
E Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

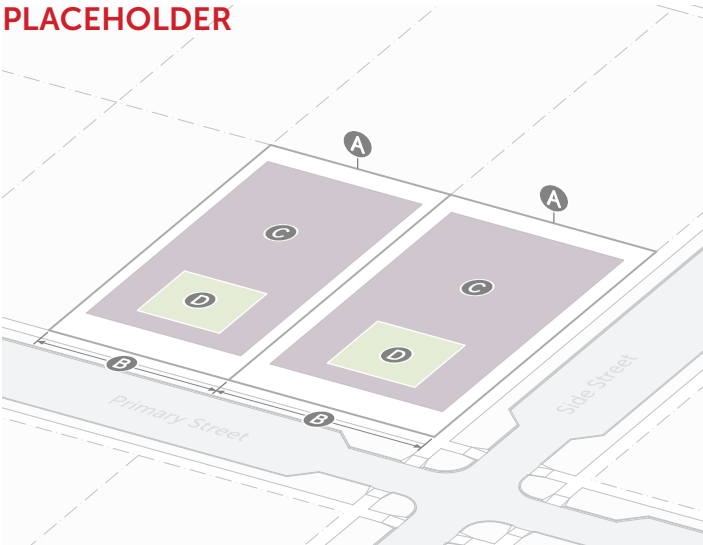


4. Windows and Doors	Sec. XX.XX.
F Ground story windows (min)	
Primary street	20%
Side street	15%
G Upper story windows (min)	10%
H Blank wall width (max)	20'
I Street-facing entry	Required
5. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

SEC. 2.3.12. N6A NEIGHBORHOOD 6A

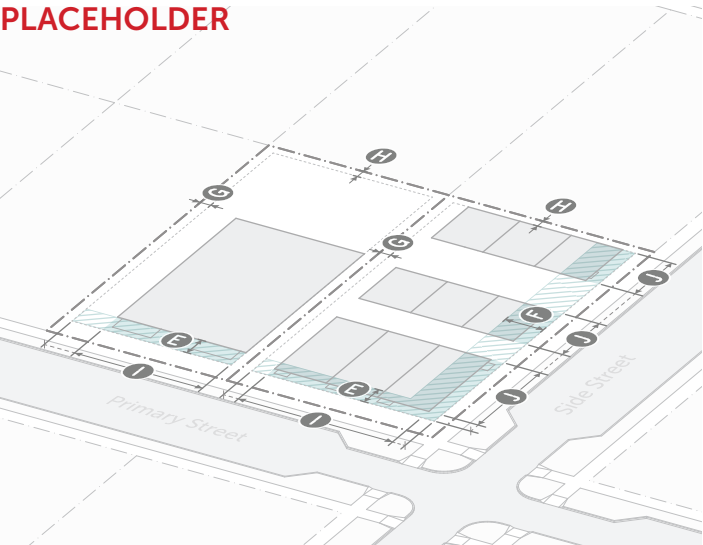
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	2,000 sf
B Lot width (min)	20'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (NLA max)	1.0
3. Coverage	Sec. XX.XX.
C Building coverage (max)	75%
D Outdoor amenity space (min)	20%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required
Front and side street yard landscaping	Required

PLACEHOLDER

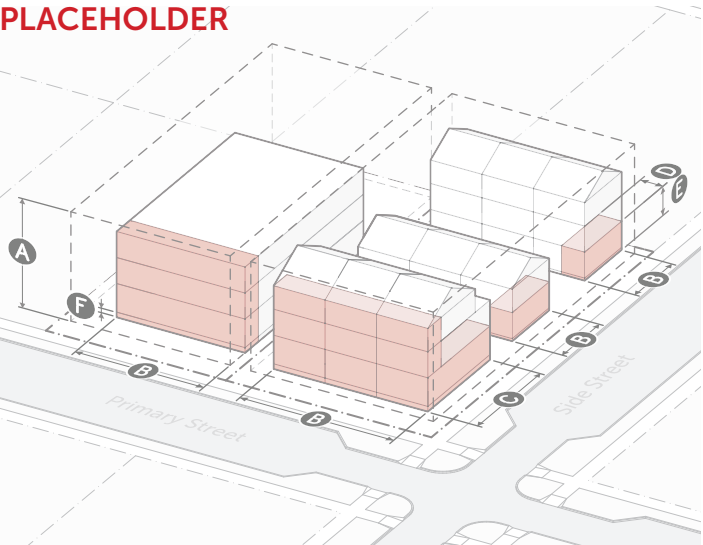


5. Building Setbacks	Sec. XX.XX.
E Street setback (min)	
Primary street	Existing range or 15' / 30'
Side street	5' / 20'
F Side setback (min)	10'
G Rear setback (min)	15'
6. Transition	Sec. XX.XX.
Transition type	Low
7. Build-To	Sec. XX.XX.
H Build-to width (min)	
Primary street	75%
Side street	45%
8. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

N6A NEIGHBORHOOD 6A

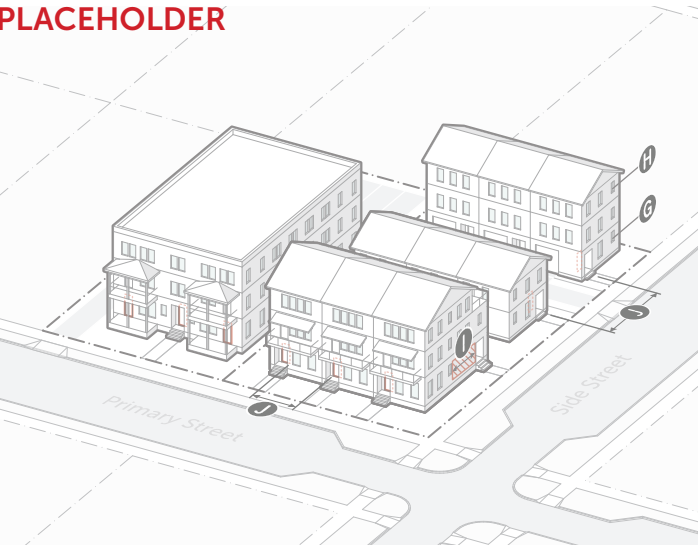
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	3 stories / 40'
B Building width (max)	100'
2. Activation	Sec. XX.XX.
C Active depth (min)	
Primary street	20'
Side street	10'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	9'
E Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

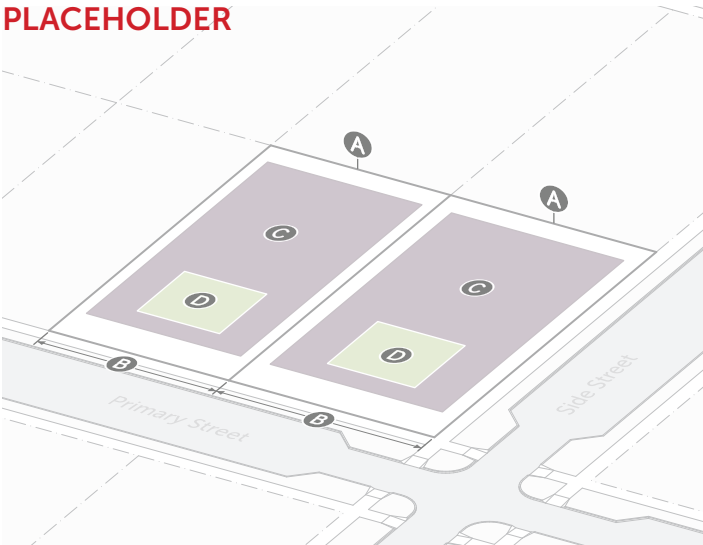


4. Windows and Doors	Sec. XX.XX.	
F Ground story windows (min)		
Primary street	30%	
Side street	25%	
G Upper story windows (min)	20%	
H Blank wall width (max)	20'	
I Street-facing entry	Required	
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type 1	Type 4
Side street yard	Type 2	Type 4
Side / rear yard	Type 3	Type 5

SEC. 2.3.13. N6B NEIGHBORHOOD 6B

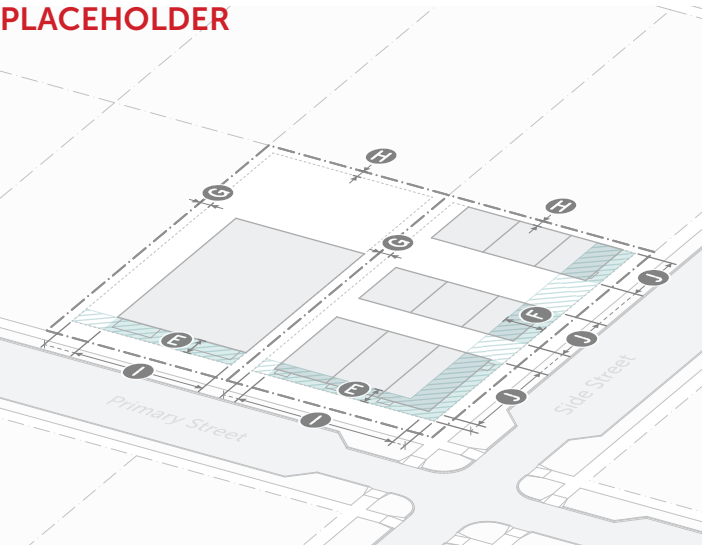
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	2,000 sf
B Lot width (min)	20'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (NLA max)	1.75
3. Coverage	Sec. XX.XX.
C Building coverage (max)	80%
D Outdoor amenity space (min)	20%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required
Front and side street yard landscaping	Required

PLACEHOLDER

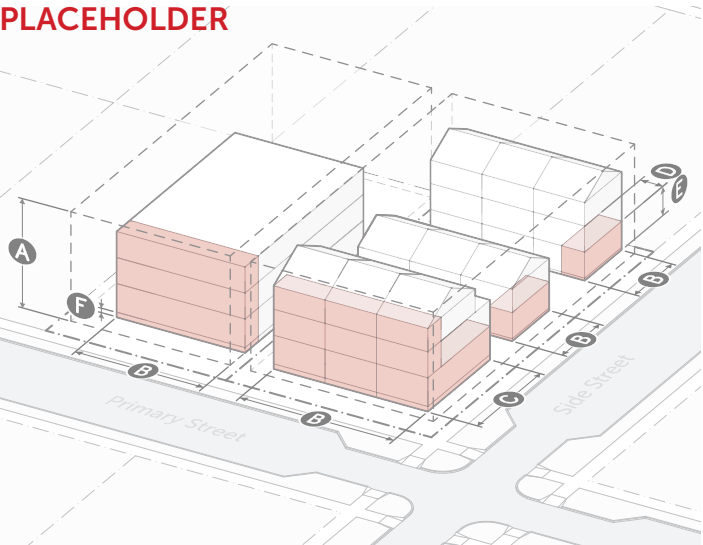


5. Building Setbacks	Sec. XX.XX.
E Street setback (min)	
Primary street	Existing range or 15' / 30'
Side street	5' / 20'
F Side setback (min)	10'
G Rear setback (min)	15'
6. Transition	Sec. XX.XX.
Transition type	Low
7. Build-To	Sec. XX.XX.
H Build-to width (min)	
Primary street	75%
Side street	45%
8. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

N6B NEIGHBORHOOD 6B

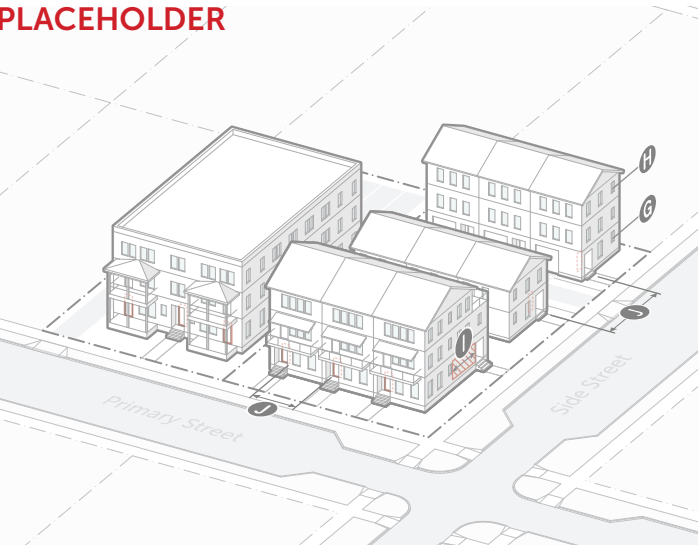
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	4 stories / 52'
B Building width (max)	100'
2. Activation	Sec. XX.XX.
C Active depth (min)	
Primary street	20'
Side street	10'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	9'
E Ground story elevation (min/max)	0' / 4'

PLACEHOLDER



4. Windows and Doors	Sec. XX.XX.
F Ground story windows (min)	
Primary street	30%
Side street	25%
G Upper story windows (min)	20%
H Blank wall width (max)	20'
I Street-facing entry	Required
5. Fences and Walls	Sec. XX.XX.
	Res. Nonres.
Front yard	Type 1 Type 4
Side street yard	Type 2 Type 4
Side / rear yard	Type 3 Type 5

DIVISION 2.4. URBAN GENERAL DISTRICTS

PLACEHOLDER
FOR GRAPHIC

Sec. 2.4.1. Intent

Urban General Form Districts are intended to accommodate a range of low-, moderate-, and higher-intensity buildings with easy access to retail, food and entertainment, and service-oriented uses in a vibrant, pedestrian-friendly environment.

Some Urban General Form Districts are paired with Use Districts that primarily allow residential uses, with some commercial uses that limited in size and extent. Other Urban General Form Districts are paired with Use Districts that permit a variety of uses, from local businesses embedded in neighborhoods to more dense mixed-use development.

Sec. 2.4.2. Summary of Districts

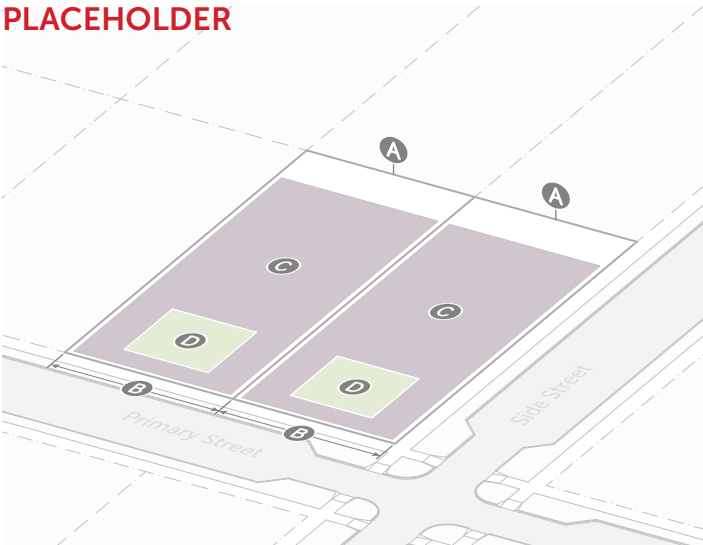
The following table includes a summary of some requirements for each Urban General Form District. Detailed requirements are further described in this Division.

URBAN GENERAL DISTRICTS					
District	Lot Area (min)	Lot Width (min)	FAR (GLA max)		Height (max)
			Base	With Bonus	
UG3A	1,000 sf	20'	1.0	2.0	3 stories / 45'
UG3B	None	None	1.5	3.0	3 stories / 45'
UG5A	None	None	1.5	3.0	5 stories / 70'
UG5B	None	None	2.0	4.0	5 stories / 70'
UG8A	None	None	2.0	4.0	8 stories / 115'
UG8B	None	None	3.0	6.0	8 stories / 115'
UG15	None	None	3.0	4.5	15 stories / 210'
UG25	None	None	5.0	8.5	25 stories / 350'

SEC. 2.4.3. **UG** URBAN GENERAL 3

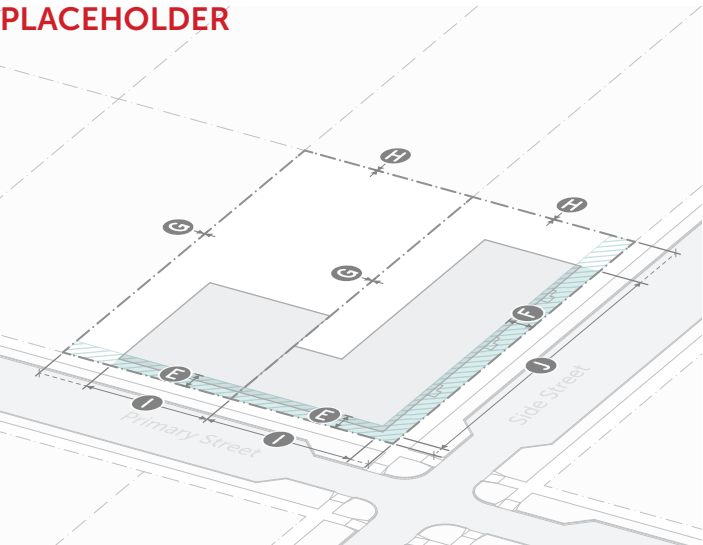
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.	
A Lot area (min)	1,000 sf	
B Lot width (min)	20'	
2. Density	Sec. XX.XX.	
	UG3A	UG3B
Dwelling units per lot (max)	Unlimited	Unlimited
FAR (GLA max)		
Base	1.0	1.5
With bonus	2.0	3.0
3. Coverage	Sec. XX.XX.	
C Building coverage (max)	85%	
D Outdoor amenity space (min)		
Up to 1 acre	10%	
Over 1 acre	15%	
4. Streetscape	Sec. XX.XX.	
Amenity zone	Required	
Pedestrian zone	Required	
Front and side street yard landscaping		
Residential	Required	
Nonresidential / storefront	Not required	

PLACEHOLDER

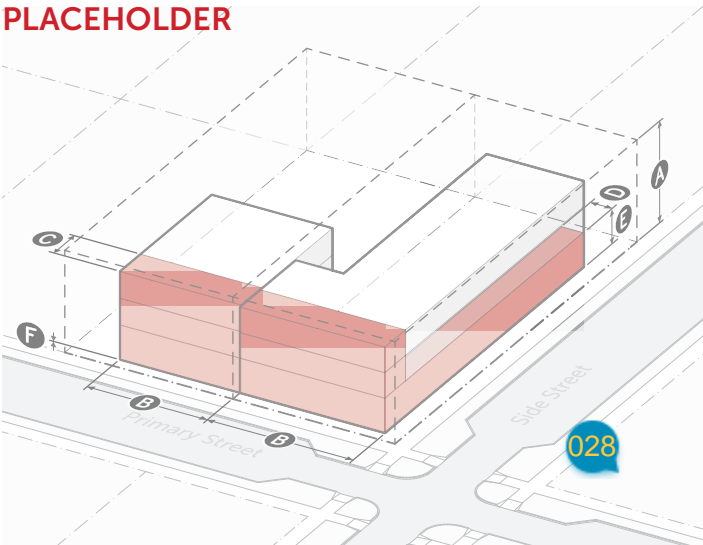


5. Building Setbacks		Sec. XX.XX.
E Street setback (min/max)		
014	Primary street	5' 023'
	Side street	5' / 15'
	Storefront street	0' / 10'
F	Side setback (min)	0'
G	Rear setback (min)	0'
6. Transition		Sec. XX.XX.
Transition type		Low
7. Build-To		Sec. XX.XX.
	Build-to width (min)	
H	Primary street	75%
I	Side street	50%
	Storefront street	85%
8. Parking Location		Sec. XX.XX.
No parking allowed between building and street		

UG3 URBAN GENERAL 3

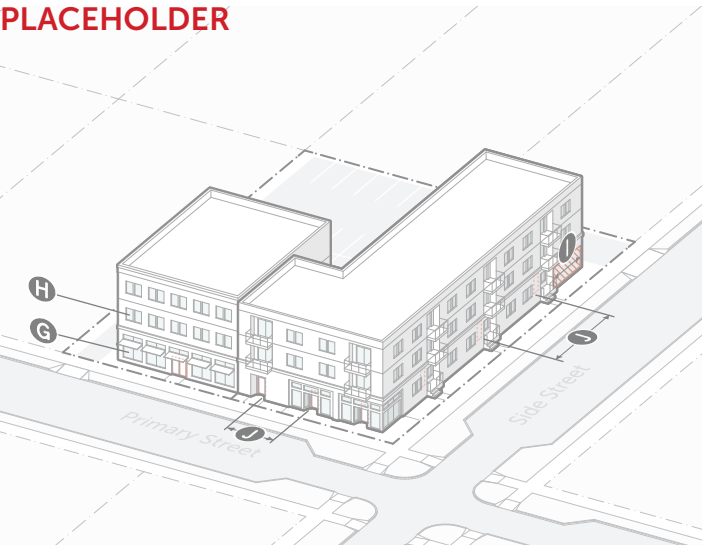
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.	
A Building height (max stories)	3 stories / 45'	
B Building width (max)		
Primary street	275'	
Side street	275'	
Storefront street	175'	
2. Activation	Sec. XX.XX.	
C Active depth (min)		
Primary street	20'	
Side street	10'	
Storefront street	30'	
3. Ground Story	Sec. XX.XX.	
	Res.	Nonres.
D Ground story height (min)	10'	14'
E Ground story elevation (min/max)	0' / 4'	-2' / 4'

PLACEHOLDER



4. Windows and Doors	Sec. XX.XX.	
	Res.	Nonres.
F Ground story windows (min)		
Primary street	30%	50%
Side street	25%	25%
Storefront street	70%	70%
G Upper story windows (min)	20%	20%
H Blank wall width (max)		
Primary street	15'	15'
Side street	25'	25'
Storefront street	10'	10'
I Street-facing entry	Required	Required
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type 1	Type 4
Side street yard	Type 2	Type 4
Side / rear yard	Type 3	Type 5

#008

Posted by **phiae01** on **12/01/2024** at **3:10pm** [Comment ID: 582] - [Link](#)
Question

Agree: 0, Disagree: 0

What is an amenity zone? Many houses in RG3 are single family, or houses that were split up based on school desegregation many decades ago. So what does it mean for an amenity zone to be required for RG3A that are actually SFH?

Reply by **SiteAdmin** on **12/02/2024** at **2:06pm** [Comment ID: 588] - [Link](#)
Answer

Agree: 0, Disagree: 0

The "amenity zone" refers to the portion of the sidewalk along the curb that is reserved for street trees, utility poles, etc.

Reply by **phiae01** on **12/03/2024** at **11:18am** [Comment ID: 592] - [Link](#)
Question

Agree: 0, Disagree: 0

How does this differ from a pedestrian zone?

Reply by **SiteAdmin** on **12/03/2024** at **1:44pm** [Comment ID: 594] - [Link](#)
Answer

Agree: 0, Disagree: 0

The pedestrian zone is where you walk (i.e. the sidewalk). If you look at newer developments, you'll see an amenity zone planted with trees. Next to that is the pedestrian zone. These are already code requirements. I hope this helps!

Reply by **phiae01** on **12/04/2024** at **8:16am** [Comment ID: 596] - [Link](#)
Suggestion

Agree: 0, Disagree: 0

Yes it does. So a small grass/landscaped strip, then sidewalk. That's pretty standard now.

#009

Posted by **ebhyatt** on **01/20/2025** at **2:05pm** [Comment ID: 904] - [Link](#)
Suggestion

Agree: 3, Disagree: 0

The current average is 55%. It needs to stay at that level to maintain tree canopy, green space and front porches. Stop bowing to developers and the glean of more tax money!

#010

Posted by **Jennifer Friese** on **11/19/2024** at **7:53pm** [Comment ID: 569] - [Link](#)
Question

Agree: 0, Disagree: 0

Hi There, Where are the form standards for UG3-A (RG-3)? Thanks!

Reply by **SiteAdmin** on **11/20/2024** at **11:58am** [Comment ID: 571] - [Link](#)
Answer

Agree: 1, Disagree: 0

They are on this page. The only difference between UG3A and UG3B is the allowed density. All other standards are the same.

#011

Posted by **CqLee** on **01/27/2025** at **3:27pm** [Comment ID: 980] - [Link](#)

Suggestion

Agree: 0, Disagree: 0

With the slope of St Charles, water runoff during rainfall is already heavy...adding more hardscapes over existing draining materials will create a real drainage problem. Additionally, 85% is way too high to maintain the neighborhood community standard of tree canopy, outdoor spaces and front porches...everything that makes this neighborhood a destination.

Reply by **SiteAdmin** on **01/29/2025** at **10:36am** [Comment ID: 996] - [Link](#)

Answer

Agree: 0, Disagree: 0

Thank you very much for your feedback. Many other Virginia-Highland residents have also made us aware of this concern regarding the RG-2 conversion. We are looking into strategies for addressing RG-2 and RG-3 embedded in neighborhoods differently.

#012

Posted by **phiae01** on **12/01/2024** at **3:08pm** [Comment ID: 581] - [Link](#)

Question

Agree: 1, Disagree: 0

Allowing unlimited dwelling units per lot seems inappropriate given the size of the lots and the height limits. Why have no limits been proposed?

Reply by **SiteAdmin** on **12/02/2024** at **7:02am** [Comment ID: 584] - [Link](#)

Answer

Agree: 0, Disagree: -1

This means that there is no numeric limit on the number of dwellings allowing, but height and FAR limits would still apply and limit the achievable number. This column is needed because a few existing districts, such as R-5 or MR-MU, limit properties to a set number of units, regardless of size. However, UG3 is a conversion of existing districts that have no such numeric limit today.

#013

Posted by **peterharrell** on **01/31/2025** at **3:30pm** [Comment ID: 1007] - [Link](#)

Suggestion

Agree: 0, Disagree: 0

As another resident living in Atkins Park, I am opposed to any chances that would allow conversions of lots that currently have single family homes on them to provide for multiple units. There is certainly a place for more density in the neighborhood, e.g., converting parking lots into mixed use, or allowing current commercial space to expand into larger commercial space. But I am opposed to turning single family homes into multi-unit properties and/or turning current residential lots into commercial lots. (Peter Harrell, resident, St. Louis Place NE, Atlanta, 30306)

Reply by **SiteAdmin** on **02/04/2025** at **10:15am** [Comment ID: 1026] - [Link](#)

Answer

Agree: 0, Disagree: 0

Thank you very much for your feedback. Many other Virginia-Highland residents have also made us aware of this concern regarding the RG-2 conversion. We are looking into strategies for addressing RG-2 and RG-3 embedded in neighborhoods differently.

Please note that RG-2 is a multifamily district today. The existing code permits multifamily in existing houses.

#014

Posted by **crome** on **02/07/2025** at **4:26pm** [Comment ID: 1047] - [Link](#)

Suggestion

Agree: 1, Disagree: 0

Virginia Highland Neighbor here - I live on Greenwood Ave. My favorite buildings on the street are the physical therapy stone building on the corner of Greenwood and Barnett, and the apartments at the corner of St Charles and Frederica. Those feel the most neighborhood-y and friendly to me walking through the neighborhood. The secret is that they both have zero side setback and only 0' or 10' front setback. I would love if more of the 8plexes and other small condo buildings could redevelop into a "brownstone" style feeling neighborhood. A small coffee shop or market in a corner would be welcome too. Some of the 20+' plus setbacks end up with broken furniture, dead landscaping, trash, and other junk (example 930 Greenwood). Get rid of that setback area that is dragging the character of the neighborhood down. Existing single family homes are fine to stay like they are . Add another max setback for SFH in this zone. to match existing (30'?). Also consider an exception to allow topography to dictate the setbacks. Forcing a similar setback for all buildings you end up with some condos way down the hill (see 880 Greenwood) with no interaction with the street, or way up out of eyes view with an imposing, uncomfortable feeling (see 766 St Charles). It seems like there has been a lot of resistance to change from neighbors, any many people with positive things to say may not take the time to come on here and comment, but my personal opinion is that lower setback requirements that slowly redevelop over 10, 20, 30+ years would make Greenwood and St Charles Ave a more pleasant street experience and neighborhood to live in.

Reply by **SiteAdmin** on **02/07/2025** at **5:09pm** [Comment ID: 1055] - [Link](#)

Answer

Agree: 0, Disagree: 0

Thank you for your feedback! If you look at the end of this document, there's an "alternative form" standard so corner stores can be closer to the street.

#015

Posted by **ebhyatt** on **01/20/2025** at **2:07pm** [Comment ID: 905] - [Link](#)

Suggestion

Agree: 1, Disagree: -1

Current set backs are typically 30'. Changing this will change what makes this neighborhood unique. Stop bowing to developers and the glean of more tax money!

#016

Posted by **Jeffkeese1** on **01/17/2025** at **5:35pm** [Comment ID: 900] - [Link](#)

Question

Agree: 0, Disagree: 0

Still trying to figure out all the affects of this on our little multi-family residential streets. Why does the proposed new zoning include definitions for “storefronts” at all? Does that mean someone could sell their home next to my home it would be torn down and developed as a store covering 85% of the lot? I would want to prevent that (unless that is the goal of this exercise? To eliminate housing?)

Reply by **SiteAdmin** on **01/20/2025** at **8:11am** [Comment ID: 901] - [Link](#)

Answer

Agree: 2, Disagree: 0

There are two reasons for this classification. First, there are many parts of the City that already require ground story storefronts regardless of building use; we need a way to reflect this in the new code. Additionally, during the Focussed Workshops, we asked whether there was interest in requiring large buildings to provide ground story storefronts in additional locations; we received strong support for this. The standard requires large buildings on designated "storefront streets" (see <https://tsw.maps.arcgis.com/apps/instant/sidebar/index.html?appid=d378cbc3cb99459688cdff0a3b54c859>). Please note that nowhere in Ansley Park is designated a "storefront street" due to the existing character. However, in areas that are designated a "storefront street," buildings must provide ground story that is suitable for future retail, but may be used as other uses today. For an examples of the on-the-ground effect of this standard, Midtown east of Piedmont Avenue has also had this standard along major streets for several decades now.

Reply by **Jeffkeese1** on **01/20/2025** at **11:54am** [Comment ID: 903] - [Link](#)

Agree: 0, Disagree: 0

Thank you for the background in that and that makes sense for existing storefront streets; I’m trying to understand how this would affect St Charles Ave in VaHi.

I’m trying to understand how they would apply to my street. Could someone by the house next to me, tear it down, and build a storefront with no setbacks and covering 85% of the lot in the middle of our residential block, RG2?

Reply by **SiteAdmin** on **01/20/2025** at **4:10pm** [Comment ID: 911] - [Link](#)

Answer

Agree: 1, Disagree: 0

My apologies. There is a user with a similar name from Ansley Park. Under the discussion draft UG3 the condition you describe would be allowed. However, as previously noted, we've received a lot of opposition to this RG-2 conversion and are exploring other options in response to the feedback from you and your neighborhoods. Thanks for reviewing the draft so carefully!

Reply by **Jeffkeesee1** on **01/21/2025** at **3:28pm** [Comment ID: 918] - [Link](#)

Question

Agree: 0, Disagree: 0

That you for that confirmation. Obviously we don’t want our street that has been residential for 100 years to be replaced with commercial storefronts. I can’t imagine how anyone would advocate for that. Thank for hearing our concerns. Please let me know when the new proposal is ready for review and feedback; I will do my best to rally as many neighbors for you to get constructive feedback and buy-in on the update. Also, happy to lead a tour or send photos or submit housing survey if it helps this team understand what we are standing up for. Thanks.

Reply by **SiteAdmin** on **01/23/2025** at **6:27pm** [Comment ID: 963] - [Link](#)

Answer

Agree: 1, Disagree: 0

There's no need for photos. I'm very, very familiar with the area. My spouse lived on Bonaventure in the 1990s.

With regard to updates, we'll likely have an update after Module III is released in early February. Thanks for your feedback.

Reply by **Jeffkeesee1** on **01/24/2025** at **7:12am** [Comment ID: 964] - [Link](#)

Question

Agree: 0, Disagree: 0

That’s great to hear that there is understanding and empathy on this team for what we are fighting to sustain on St Charles and Greenwood. We plan to attend the Feb 3 meeting, Will that meeting include review of these “likely”updates Or will we just continue to raise the same pre-update concerns?

If not Feb 3, what is the date when we will be able to review and comment on how our concerns for “embedded” neighborhoods have been addressed?

#017

Posted by **ebhyatt** on **01/20/2025** at **2:09pm** [Comment ID: 906] - [Link](#)

Suggestion

Agree: 0, Disagree: -1

Changing side set backs are typically 15'. Changing this to ZERO will have buildings on top of one another. Stop bowing to developers and the glean of more tax money!

#018

Posted by **CqLee** on **01/27/2025** at **3:31pm** [Comment ID: 981] - [Link](#)

Agree: 0, Disagree: -1

5' is extremely small setback for a historic neighborhood. Keep existing standards

Reply by **SiteAdmin** on **01/29/2025** at **10:39am** [Comment ID: 998] - [Link](#)

Answer

Agree: 0, Disagree: 0

Thank you very much for your feedback. The existing RG-2 setback west of Barnett street is already 5 feet due to its location in the BeltLine Overlay. This said, many other Virginia-Highland residents have also made us aware of this concern regarding the RG-2 conversion. We are looking into strategies for addressing RG-2 and RG-3 embedded in neighborhoods differently.

#019

Posted by **CqLee** on **01/27/2025** at **3:40pm** [Comment ID: 983] - [Link](#)

Suggestion

Agree: 0, Disagree: 0

Allowing the possibility for storefronts along St Charles and Greenwood is extremely dangerous to the culture and community in the current real estate climate. It will not be locals who take advantage of these allowances, but investors who will squeeze everything they can out of a plot and thereby ruin what makes it such a desirable area.

Reply by **SiteAdmin** on **01/29/2025** at **10:36am** [Comment ID: 997] - [Link](#)

Answer

Agree: 0, Disagree: 0

Thank you very much for your feedback. Many other Virginia-Highland residents have also made us aware of this concern regarding the RG-2 conversion. We are looking into strategies for addressing RG-2 and RG-3 embedded in neighborhoods differently.

#020

Posted by **CqLee** on **01/27/2025** at **3:34pm** [Comment ID: 982] - [Link](#)

Question

Agree: 0, Disagree: -1

What is the purpose of 0' setback? This seems problematic for all parties

Reply by **SiteAdmin** on **01/29/2025** at **10:40am** [Comment ID: 999] - [Link](#)

Answer

Agree: 0, Disagree: 0

Thank you very much for your feedback. Most of the districts converting to UG3 already have a 0-foot side setback. If your comments regards the conversion of RG-2, many other Virginia-Highland residents have also made us aware of this concern regarding the RG-2 conversion. We are looking into strategies for addressing RG-2 and RG-3 embedded in neighborhoods differently.

#021

Posted by **peterharrell** on **01/31/2025** at **3:31pm** [Comment ID: 1008] - [Link](#)

Suggestion

Agree: 0, Disagree: -1

As a Virginia Highland resident, I would like to ensure that any new construction of housing maintains appropriate setbacks from neighboring properties. I am opposed to changing zoning of current residential lots in Virginia Highland to allow building to the property line and I want to keep both front and side setbacks at least as large as they are. (Peter Harrell, 1102 St. Louis Place NE, Atlanta, GA 30306)

Reply by **SiteAdmin** on **02/04/2025** at **10:15am** [Comment ID: 1027] - [Link](#)

Answer

Agree: 0, Disagree: 0

Thank you very much for your comment. Many other Virginia-Highland residents have also made us aware of this concern regarding the RG-2 conversion. We are looking into strategies for

addressing RG-2 and RG-3 embedded in neighborhoods differently.

#022

Posted by **phiae01** on **12/01/2024** at **3:14pm** [Comment ID: 583] - [Link](#)

Question

Agree: 3, Disagree: 0

Why are the side setbacks reduced to zero? Why not set to say 3 or 4'? Could my neighbor sell their property and then the new owner build right to the lot line? That would impinge upon my property (and vice versa). It would not allow space for air conditioning condensers (that's where they currently are) and now allow them access to the side of their properties for maintenance without coming onto my lot. And it would increase fire risks. It would not allow any trees. This is not how RG3 exists now in NPU-F

Reply by **SiteAdmin** on **12/02/2024** at **2:10pm** [Comment ID: 589] - [Link](#)

Answer

Agree: 0, Disagree: -1

This district is a conversion of existing commercial and multifamily districts, many of which have no side setbacks today. Please note that Module II, which will be released on December 4th, will contain standards that apply citywide for when this district abuts a "House Scale" district. This will not be a "setback" but rather a "transition."

Reply by **phiae01** on **12/03/2024** at **11:19am** [Comment ID: 593] - [Link](#)

Question

Agree: 4, Disagree: 0

Why are we amalgamating commercial and multi-family zones into a single zone? I thought that many of the answers are that "we are doing a one for one conversion right now." Right now my understanding is that my RG3 zone has setbacks (7' or 3', I cannot remember). So why are some one-for-one conversions, yet this one is not one-for-one?

Reply by **SiteAdmin** on **12/03/2024** at **1:58pm** [Comment ID: 595] - [Link](#)

Answer

Agree: 0, Disagree: -1

This was discussed at the Module I Q&A in July (see slide 43 here https://atlzoning.com/wp-content/uploads/2024/05/ATL2_Module1_QA_FINAL.pdf).

Essentially, 20 years ago MR was created to replace RG districts. As part of the rewrite, MR districts are being substituted for their equivalent MR, then converted to the Form and Use Districts. MR-3 has a zero-foot side setback (see 16-35.010(2)(c) of the existing code).

It sounds like you are referring to small RG-3 lot within a neighborhood. If possible, please email specific comments to atlzoning2@AtlantaGa.Gov and we will look into it.

Thanks!

#023

Posted by **elizlewin** on **01/31/2025** at **4:32pm** [Comment ID: 1009] - [Link](#)

Agree: 0, Disagree: -1

I am a resident of Virginia Highland and am opposed to the proposed zoning change. Drastically reducing the front and side setbacks as well as increasing lot coverage to 85% would not only work directly against the initiative taken by Atlanta's City Council to increase the city's tree canopy coverage but also negatively impact this historic neighborhood by taking away its large trees, green spaces and porches.

Reply by **SiteAdmin** on **02/04/2025** at **10:16am** [Comment ID: 1028] - [Link](#)

Answer

Agree: 0, Disagree: 0

Thank you very much for your comment. Many other Virginia-Highland residents have also made us aware of this concern regarding the RG-2 conversion. We are looking into strategies for

addressing RG-2 and RG-3 embedded in neighborhoods differently.

#024

Posted by **Jennifer Friese** on **11/24/2024** at **5:51pm** [Comment ID: 578] - [Link](#)

Suggestion

Agree: 1, Disagree: -1

I still don't think that this Form category reflects the existing conditions in RG3. I do appreciate the height cap and the concept of building coverage, however these metrics still allow more dense construction than what is currently allowed. My biggest concerns are the 1000sf lot size minimum (R4 is 9000, RG3 ranges) and the zero side and rear setbacks. It is possible to have more people density without more physical density. The metrics in this form would not allow any trees. And zero rear lot lines will negatively impact adjacent residential districts.

Reply by **SiteAdmin** on **11/27/2024** at **8:39am** [Comment ID: 579] - [Link](#)

Answer

Agree: 1, Disagree: 0

Thank you for your feedback.

#025

Posted by **juckins** on **02/02/2025** at **7:45pm** [Comment ID: 1011] - [Link](#)

Suggestion

Agree: 0, Disagree: 0

I object to this zoning for Saint Charles Ave and Greenwood Ave in Virginia Highland. It is not appropriate for those streets. It will destroy our tree canopy and I not want 3-story 275-foot long apartment buildings on my street. Also our current setbacks allow for green space and front porches, which is why I bought my home. Please DO NOT zone Saint Charles Ave and Greenwood Ave UG3A. It needs to remain RG-2.

Reply by **SiteAdmin** on **02/04/2025** at **10:14am** [Comment ID: 1025] - [Link](#)

Answer

Agree: 0, Disagree: 0

Thank you very much for your comment. Many other Virginia-Highland residents have also made us aware of this concern regarding the RG-2 conversion. We are looking into strategies for addressing RG-2 and RG-3 embedded in neighborhoods differently.

#026

Posted by **ebhyatt** on **01/20/2025** at **2:12pm** [Comment ID: 908] - [Link](#)

Suggestion

Agree: 0, Disagree: 0

Why would the neighborhood want huge apartment buildings?!? This is a unique neighborhood with a long history and in a very high tax zone. Adding unsightly buildings will affect my property values as well as the livability of this community. Stop bowing to developers and the glean of more tax money!

Reply by **SiteAdmin** on **01/20/2025** at **4:05pm** [Comment ID: 909] - [Link](#)

Question

Agree: 0, Disagree: 0

Which neighborhood are you referring to? Thanks!

#027

Posted by **ebhyatt** on **01/20/2025** at **2:10pm** [Comment ID: 907] - [Link](#)

Suggestion

Agree: 0, Disagree: 0

Currently, 2 story is the highest. Changing this to 3 story will change what makes this neighborhood unique. Stop bowing to developers and the glean of more tax money!

Reply by **SiteAdmin** on **01/20/2025** at **4:06pm** [Comment ID: 910] - [Link](#)

Answer

Agree: 0, Disagree: 0

Hi. If this is regarding the RG-2 in Virginia-Highland, there is currently no height limit under existing zoning. This said, we are working on a strategy for these areas in response to neighborhood concerns. Thanks!

#028

Posted by **Jeffkeesee1** on **01/14/2025** at **6:42pm** [Comment ID: 892] - [Link](#)

Suggestion

Agree: 0, Disagree: 0

First off, I'm sorry I'm a bit late to this process! Many things impact our lives and our homes in Virginia Highland - movie filming, road race closure, neighbor renovation permitting - and those impacts (temporary inconveniences, really) are communicated very directly and effectively with signage and flyers. I didn't realize that one of the many email notifications that I receive from the city weekly would potentially be the most drastically and permanently impactful on the largest financial investment we've ever made; our home.

Greenwood & St Charles are unique, effectively hybrid, building zones. They were originally developed as single family homes, followed by some non-compliant, in-fill apartments created in the mid 1900s. It is my understanding that zoning was subsequently changed to RG2 to accommodate those noncompliant structures.

As we consider new zoning standards, do we compound the zoning mistakes of the past by painting this neighborhood with too broad a regulation brush? Or do we learn from what works in this hybrid neighborhood to make exceptions to zoning rules or even separate zoning?

Do we just lose the legacy character of these streets to gentrification and development? Or do we maintain it and allow intelligent growth with well-considered guidelines?

Greenwood Avenue and Saint Charles Avenue need a zoning overlay that accommodates both types of structures and lot layouts; front setbacks for porches and street connectivity, side setbacks for existing windows/chimneys/driveways/light/drainage, and lower maximum land coverage to keep a healthy tree canopy that supports wildlife, mitigates watershed impacts and rain runoff, and lowers yard temperatures. (A large number of those trees in VaHi are in existing setbacks; in fact, we planted trees in our side yard to shade the house in the summer. That isn't possible with diminished setbacks).

Thank you for allowing our feedback in this process. We are certain that the goals of the zoning process can be achieved without sacrificing any of the wonderful aspects that make Atlanta neighborhoods unique.

Reply by **SiteAdmin** on **01/15/2025** at **2:40pm** [Comment ID: 893] - [Link](#)

Answer

Agree: 1, Disagree: 0

Thank you for your input! Several Virginia-Highland residents have made us aware of this concern regarding the RG-2 conversion. We are looking into strategies for addressing RG-2 and RG-3 embedded in neighborhoods differently.

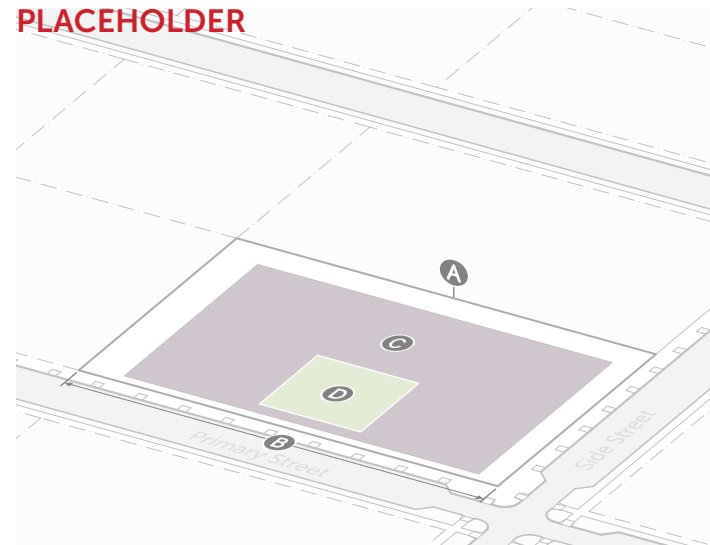
Reply by **Jeffkeesee1** on **01/16/2025** at **5:53am** [Comment ID: 894] - [Link](#)

Agree: 0, Disagree: 0

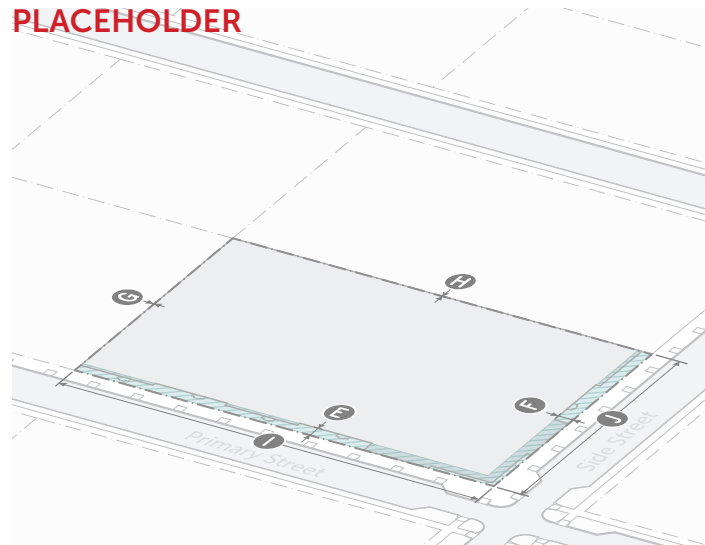
That's great! As I am unfamiliar with this software and this process, what is the best way for me to stay apprised of how/when these changes have been made/proposed?

SEC. 2.4.4. **UG5** URBAN GENERAL 5

A. Lot Standards



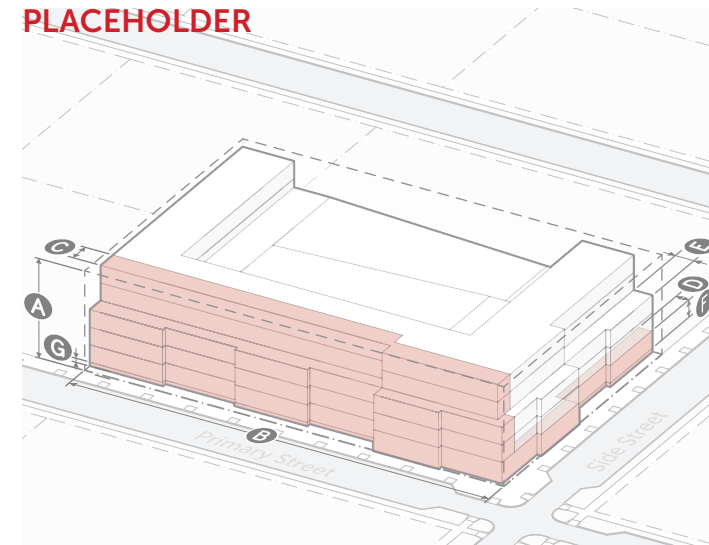
1. Lot Size	Sec. XX.XX.	
A Lot area (min)	None	
B Lot width (min)	None	
2. Density	Sec. XX.XX.	
	UG5A	UG5B
Dwelling units per lot (max)	Unlimited	Unlimited
FAR (GLA max)		
Base	1.5	2.0
With bonus	3.0	4.0
3. Coverage	Sec. XX.XX.	
C Building coverage (max)	85%	
D Outdoor amenity space (min)		
Up to 1 acre	10%	
Over 1 acre	15%	
4. Streetscape	Sec. XX.XX.	
Amenity zone	Required	
Pedestrian zone	Required	
Front and side street yard landscaping		
Residential	Required	
Nonresidential / storefront	Not required	



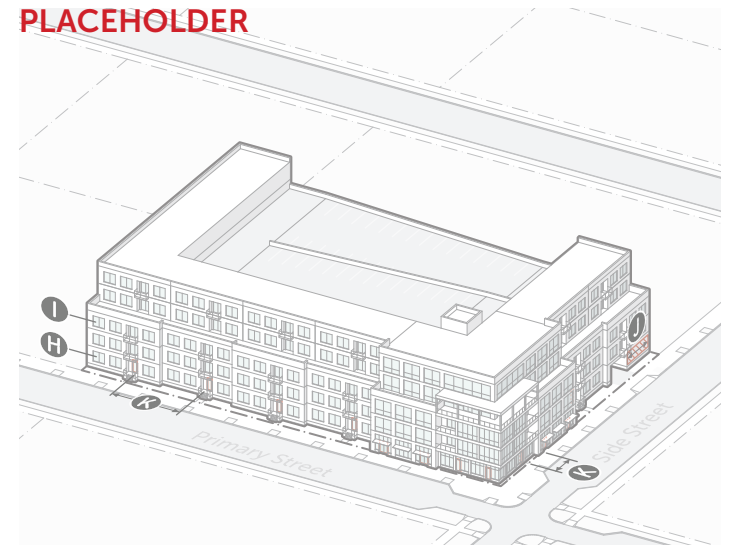
5. Building Setbacks	<i>Sec. XX.XX.</i>
E Street setback (min/max)	
Primary street	5' / 15'
Side street	5' / 15'
Storefront street	0' / 10'
F Side setback (min)	0'
G Rear setback (min)	0'
6. Transition	<i>Sec. XX.XX.</i>
Transition type	Low
7. Build-To	<i>Sec. XX.XX.</i>
Build-to width (min)	
H Primary street	75%
I Side street	50%
Storefront street	85%
8. Parking Location	<i>Sec. XX.XX.</i>
No parking allowed between building and street	

UG5 URBAN GENERAL 5

B. Building Standards



1. Massing		Sec. XX.XX.	
A	Building height (max stories/feet)	5 stories / 70'	
B	Building width (max)		
	Primary street	275'	
	Side street	275'	
	Storefront street	175'	
2. Activation		Sec. XX.XX.	
C	Active depth (min)		
	Primary street	20'	
	Side street	10'	
	Storefront street	30'	
3. Ground Story		Sec. XX.XX.	
		Res.	Nonres.
D	Ground story height (min)	10'	14'
E	Ground story elevation (min/max)	0' / 4'	-2' / 4'

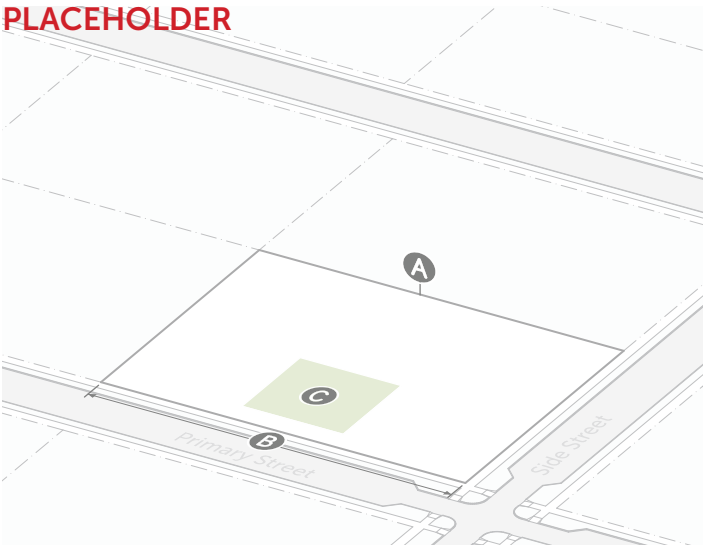


4. Windows and Doors	Sec. XX.XX.	
	Res.	Nonres.
F Ground story windows (min)		
Primary street	30%	50%
Side street	25%	25%
Storefront street	70%	70%
G Upper story windows (min)	20%	20%
H Blank wall width (max)		
Primary street	15'	15'
Side street	25'	25'
Storefront street	10'	10'
I Street-facing entry	Required	Required
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type 1	Type 4
Side street yard	Type 2	Type 4
Side / rear yard	Type 3	Type 5

SEC. 2.4.5. **UG8** URBAN GENERAL 8

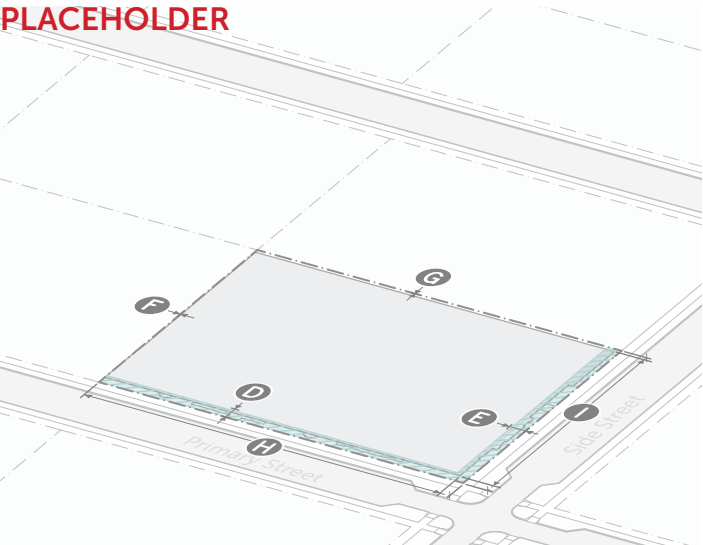
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.	
A Lot area (min)	None	
B Lot width (min)	None	
2. Density	Sec. XX.XX.	
	UG8A	UG8B
Dwelling units per lot (max)	Unlimited	Unlimited
FAR (GLA max)		
Base	2.0	3.0
With bonus	4.0	6.0
3. Coverage	Sec. XX.XX.	
C Building coverage (max)	85%	
D Outdoor amenity space (min)		
Up to 1 acre	10%	
Over 1 acre	15%	
4. Streetscape	Sec. XX.XX.	
Amenity zone	Required	
Pedestrian zone	Required	
Front and side street yard landscaping		
Residential	Required	
Nonresidential / storefront	Not required	

PLACEHOLDER

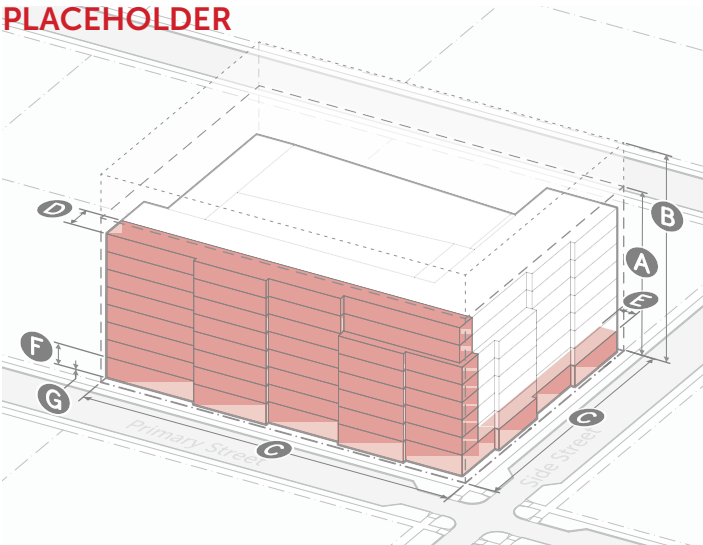


5. Building Setbacks		Sec. XX.XX.
E	Street setback (min/max)	
	Primary street	5' / 15'
	Side street	5' / 15'
	Storefront street	0' / 10'
G	Side setback (min)	0'
H	Rear setback (min)	0'
6. Transition		Sec. XX.XX.
	Transition type	Medium
7. Build-To		Sec. XX.XX.
	Build-to width (min)	
I	Primary street	75%
J	Side street	50%
	Storefront street	85%
8. Parking Location		Sec. XX.XX.
No parking allowed between building and street		

UG8 URBAN GENERAL 8

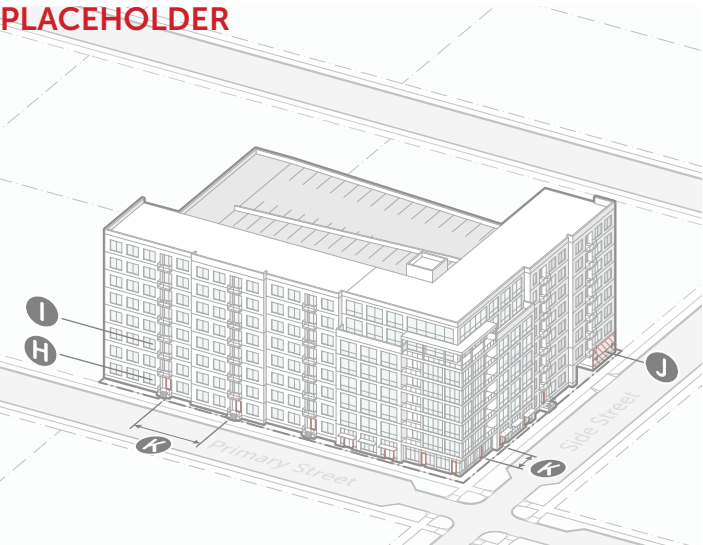
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.	
A Building height (max stories/feet)	8 stories / 115'	
B Building width (max)		
Primary street	275'	
Side street	275'	
Storefront street	175'	
2. Activation	Sec. XX.XX.	
C Active depth (min)		
Primary street	20'	
Side street	10'	
Storefront street	30'	
3. Ground Story	Sec. XX.XX.	
	Res.	Nonres.
D Ground story height (min)	10'	14'
E Ground story elevation (min/max)	0' / 4'	-2' / 4'

PLACEHOLDER

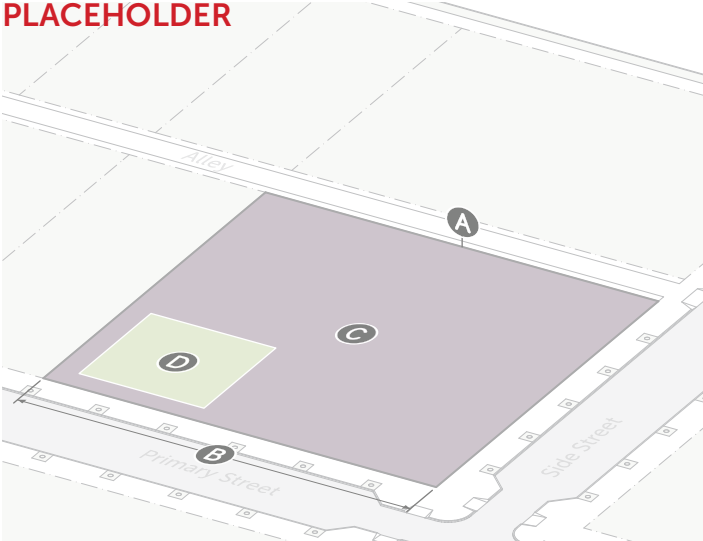


4. Windows and Doors	Sec. XX.XX.	
	Res.	Nonres.
F Ground story windows (min)		
Primary street	30%	50%
Side street	25%	25%
Storefront street	70%	70%
G Upper story windows (min)	20%	20%
I Blank wall width (max)		
Primary street	15'	15'
Side street	25'	25'
Storefront street	10'	10'
H Street-facing entry	Required	Required
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type 1	Type 4
Side street yard	Type 2	Type 4
Side / rear yard	Type 3	Type 5

SEC. 2.4.6. **UG15** URBAN GENERAL 15

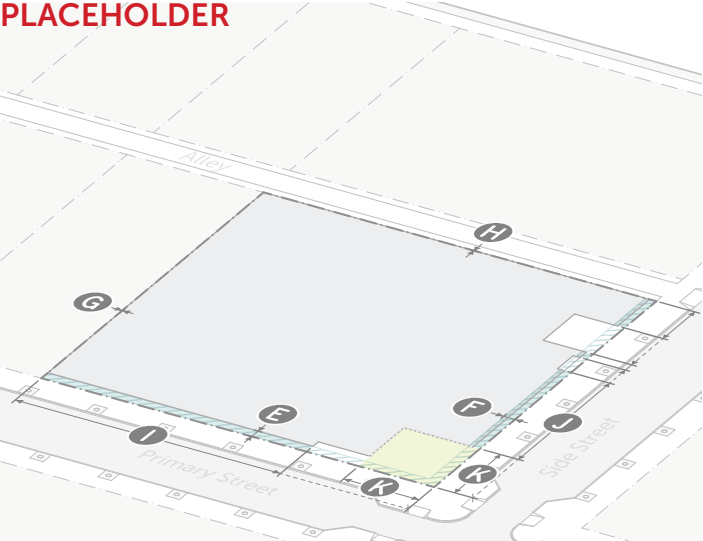
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	None
B Lot width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	
Base	3.0
With bonus	4.5
3. Coverage	Sec. XX.XX.
C Building coverage (max)	85%
D Outdoor amenity space (min)	
Up to 1 acre	10%
Over 1 acre	15%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required

PLACEHOLDER

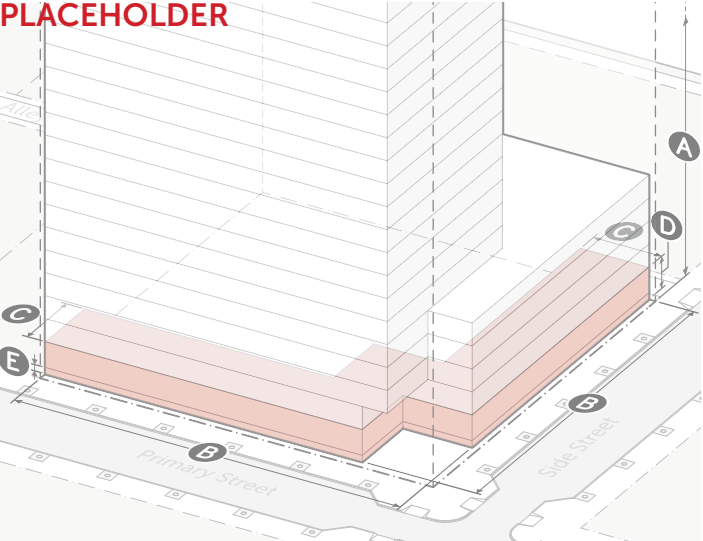


5. Building Setbacks	Sec. XX.XX.
E Street setback (min/max)	
Primary street	5' / 15'
Side street	5' / 15'
Storefront street	0' / 10'
G Side setback (min)	0'
H Rear setback (min)	0'
6. Transition	Sec. XX.XX.
Transition type	High
7. Build-To	Sec. XX.XX.
Build-to width (min)	
I Primary street	75%
J Side street	50%
Storefront street	85%
8. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

UG15 URBAN GENERAL 15

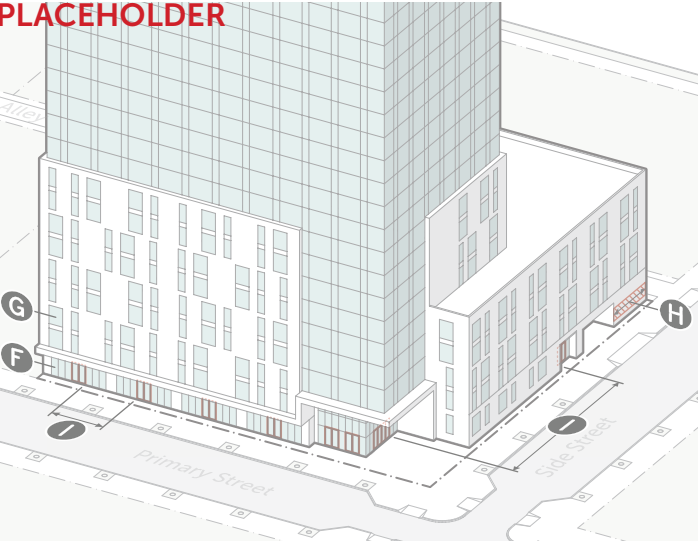
B. Building Standards

PLACEHOLDER



1. Massing		Sec. XX.XX.	
A	Building height (max stories/feet)	15 stories / 210'	
B	Building width (max)		
	Primary street	275'	
	Side street	275'	
	Storefront street	175'	
2. Activation		Sec. XX.XX.	
C	Active depth (min)		
	Primary street	20'	
	Side street	10'	
	Storefront street	30'	
3. Ground Story		Sec. XX.XX.	
		Res.	Nonres.
D	Ground story height (min)	10'	14'
E	Ground story elevation (min/max)	0' / 4'	-2' / 4'

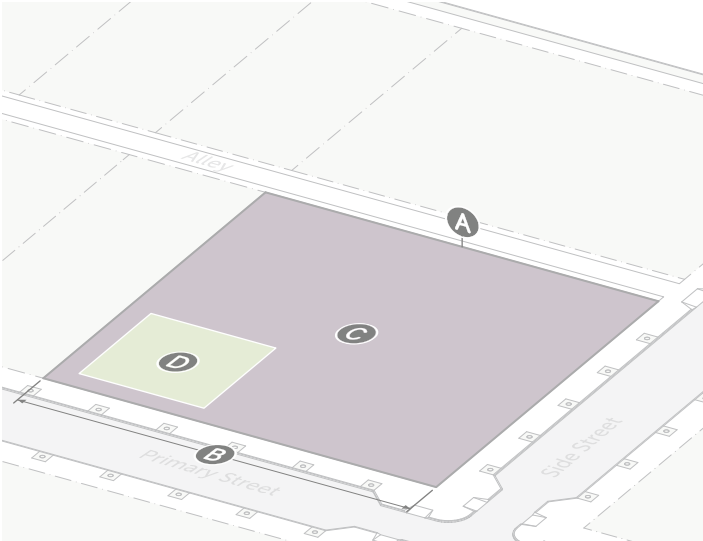
PLACEHOLDER



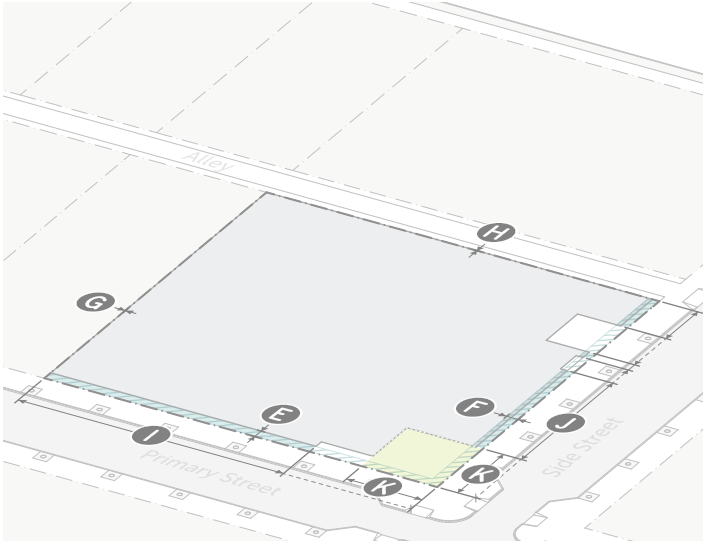
4. Windows and Doors	Sec. XX.XX.	
	Res.	Nonres.
F Ground story windows (min)		
Primary street	30%	50%
Side street	25%	25%
Storefront street	70%	70%
G Upper story windows (min)	20%	20%
I Blank wall width (max)		
Primary street	15'	15'
Side street	25'	25'
Storefront street	10'	10'
H Street-facing entry	Required	Required
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type 1	Type 4
Side street yard	Type 2	Type 4
Side / rear yard	Type 3	Type 5

SEC. 2.4.7. **UG25** URBAN GENERAL 25

A. Lot Standards



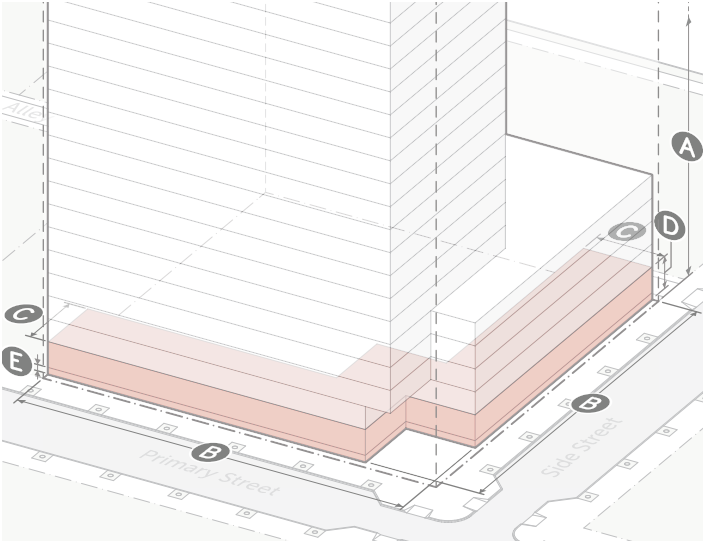
1. Lot Size	Sec. XX.XX.
A Lot area (min)	None
B Lot width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	
Base	5.0
With bonus	8.5
3. Coverage	Sec. XX.XX.
C Building coverage (max)	85%
D Outdoor amenity space (min)	
Up to 1 acre	10%
Over 1 acre	15%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required



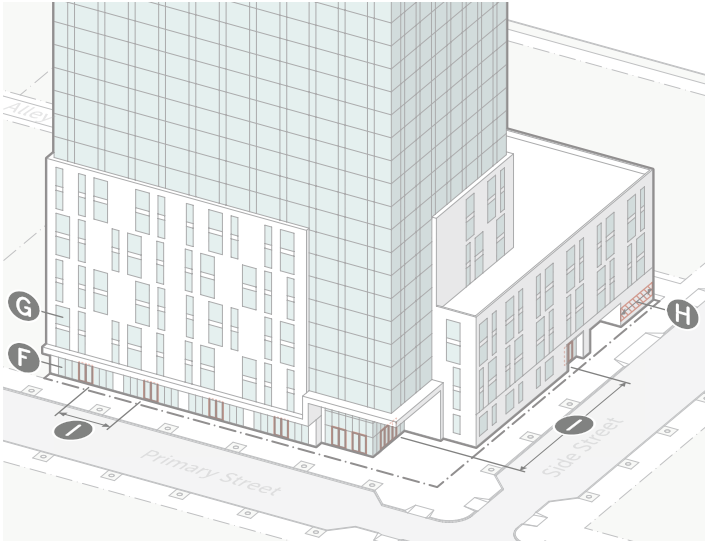
5. Building Setbacks	Sec. XX.XX.
E Street setback (min/max)	
Primary street	5' / 15'
Side street	5' / 15'
Storefront street	0' / 10'
G Side setback (min)	0'
H Rear setback (min)	0'
6. Transition	Sec. XX.XX.
Transition type	High
7. Build-To	Sec. XX.XX.
Build-to width (min)	
I Primary street	75%
J Side street	50%
Storefront street	85%
8. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

UG25 URBAN GENERAL 25

B. Building Standards



1. Massing		Sec. XX.XX.	
A	Building height (max stories/feet)	25 stories / 350'	
B	Building width (max)		
	Primary street	275'	
	Side street	275'	
	Storefront street	175'	
2. Activation		Sec. XX.XX.	
C	Active depth (min)		
	Primary street	20'	
	Side street	10'	
	Storefront street	30'	
3. Ground Story		Sec. XX.XX.	
		Res.	Nonres.
D	Ground story height (min)	10'	14'
E	Ground story elevation (min/max)	0' / 4'	-2' / 4'



4. Windows and Doors	Sec. XX.XX.	
	Res.	Nonres.
F Ground story windows (min)		
Primary street	30%	50%
Side street	25%	25%
Storefront street	70%	70%
G Upper story windows (min)	20%	20%
I Blank wall width (max)		
Primary street	15'	15'
Side street	25'	25'
Storefront street	10'	10'
H Street-facing entry	Required	Required
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type 1	Type 4
Side street yard	Type 2	Type 4
Side / rear yard	Type 3	Type 5

DIVISION 2.5. URBAN CORE DISTRICTS

PLACEHOLDER
FOR GRAPHIC

Intent

Urban Core Form Districts are intended to accommodate the City’s highest intensity development and most mixed-use and pedestrian-friendly environments. These Form Districts require tall ground stories with large windows to accommodate retail-ready ground stories.

Urban Core Form Districts are typically paired with Use Districts that accommodate a variety of residential, retail, service, and commercial uses. Although buildings are allowed to be exclusively residential or commercial in use, a mix of uses is encouraged and intended to occur over time.

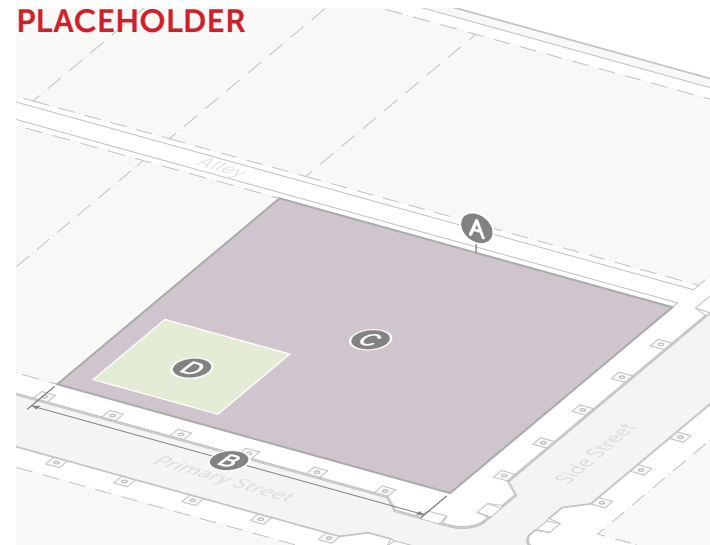
Sec. 2.5.1. Summary of Districts

The following table includes a summary of some requirements for each Urban Core Form District. Detailed requirements are further described in this Division.

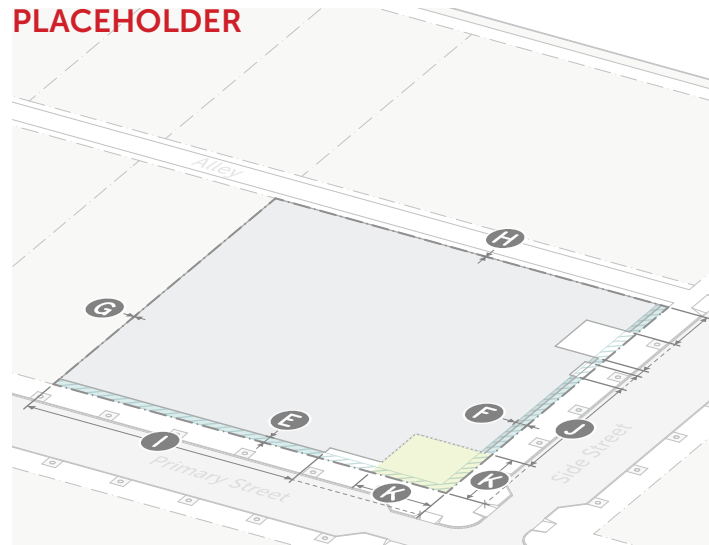
URBAN CORE DISTRICTS					
District	Lot Area (min)	Lot Width (min)	FAR (GLA max)		Height (max)
			Base	With Bonus	
UC1	None	None	7.0	11.0	Unlimited
UC2	None	None	10.0	17.0	Unlimited
UC3	None	None	10.0	20.0	Unlimited
UC4	None	None	25.0	35.0	Unlimited

SEC. 2.5.2. **UC1** URBAN CORE 1

A. Lot Standards



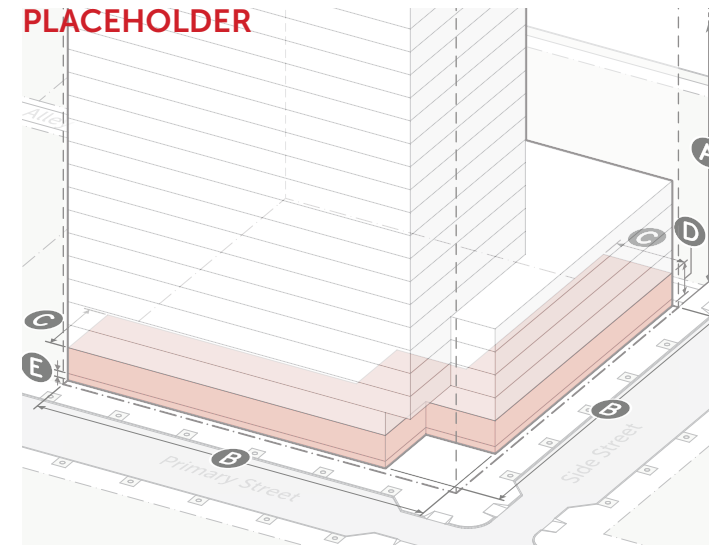
1. Lot Size	<i>Sec. XX.XX.</i>
A Lot area (min)	None
B Lot width (min)	None
2. Density	<i>Sec. XX.XX.</i>
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	
Base	7.0
With bonus	11.0
3. Coverage	<i>Sec. XX.XX.</i>
Building coverage (max)	None
C Outdoor amenity space (min)	10%
4. Streetscape	<i>Sec. XX.XX.</i>
Amenity zone	Required
Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required



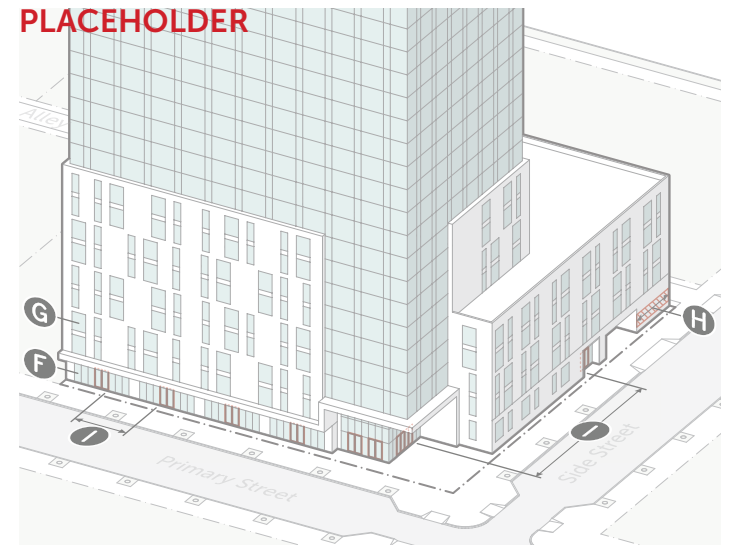
5. Building Setbacks	<i>Sec. XX.XX.</i>
D Street setback (min/max)	See Streetscape Map
E Side setback (min)	0'
F Rear setback (min)	0'
6. Transition	<i>Sec. XX.XX.</i>
Transition type	High
7. Build-To	<i>Sec. XX.XX.</i>
Build-to width (min)	
G Primary / storefront street	85%
H Side street	65%
8. Parking Location	<i>Sec. XX.XX.</i>
No parking allowed between building and street	

UC1 URBAN CORE 1

B. Building Standards



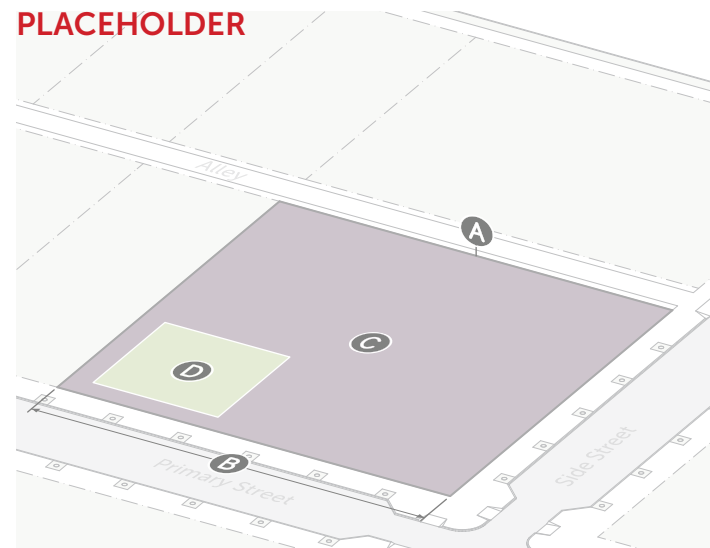
1. Massing	<i>Sec. XX.XX.</i>
A Building height (stories/feet)	
Minimum height	3 stories / 35'
Maximum height	Unlimited
B Building width (max)	175'
2. Activation	<i>Sec. XX.XX.</i>
C Active depth (min)	
Primary / storefront street	30'
Side street	15'
3. Ground Story	<i>Sec. XX.XX.</i>
D Ground story height (min)	14'
E Ground story elevation (min/max)	-2' / 4'



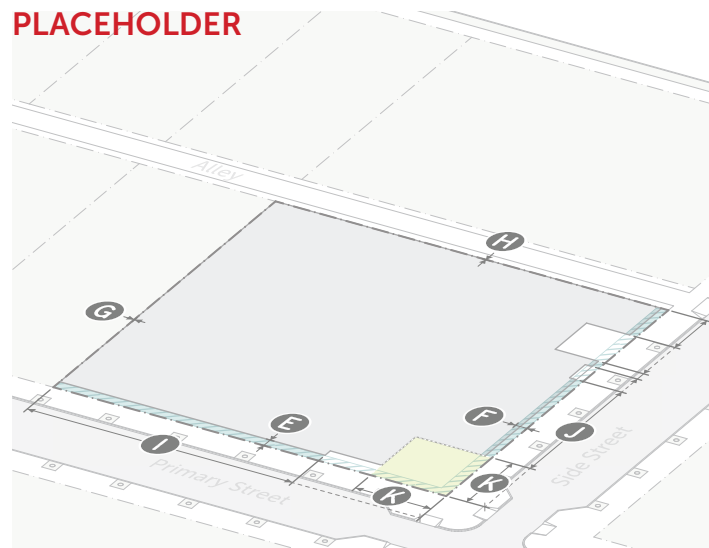
4. Windows and Doors	Sec. XX.XX.	
	Res.	Nonres.
F Ground story windows (min)		
Primary / storefront street	70%	70%
Side street	25%	50%
G Upper story windows (min)	20%	20%
I Blank wall width (max)		
Primary / storefront street	10'	10'
Side street	20'	20'
H Street-facing entry	Required	Required
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type 1	Type 4
Side street yard	Type 2	Type 4
Side / rear yard	Type 3	Type 5

SEC. 2.5.3. **UC2** URBAN CORE 2

A. Lot Standards



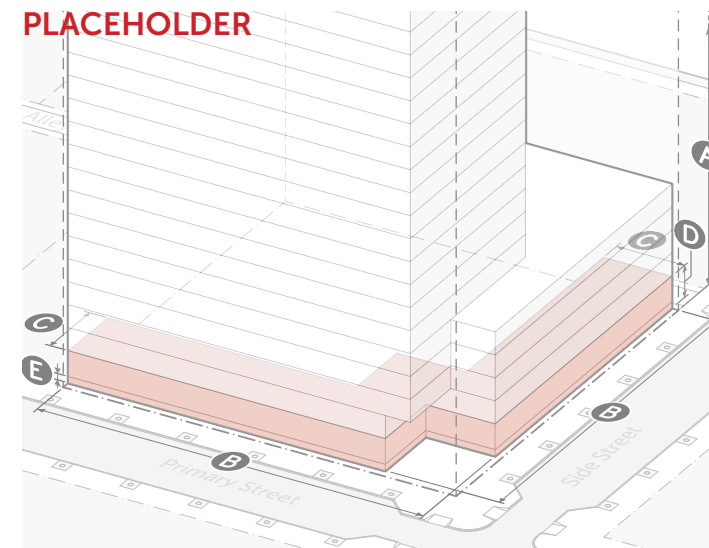
1. Lot Size	<i>Sec. XX.XX.</i>
A Lot area (min)	None
B Lot width (min)	None
2. Density	<i>Sec. XX.XX.</i>
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	
Base	10.0
With bonus	17.0
3. Coverage	<i>Sec. XX.XX.</i>
Building coverage (max)	None
C Outdoor amenity space (min)	10%
4. Streetscape	<i>Sec. XX.XX.</i>
Amenity zone	Required
Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required



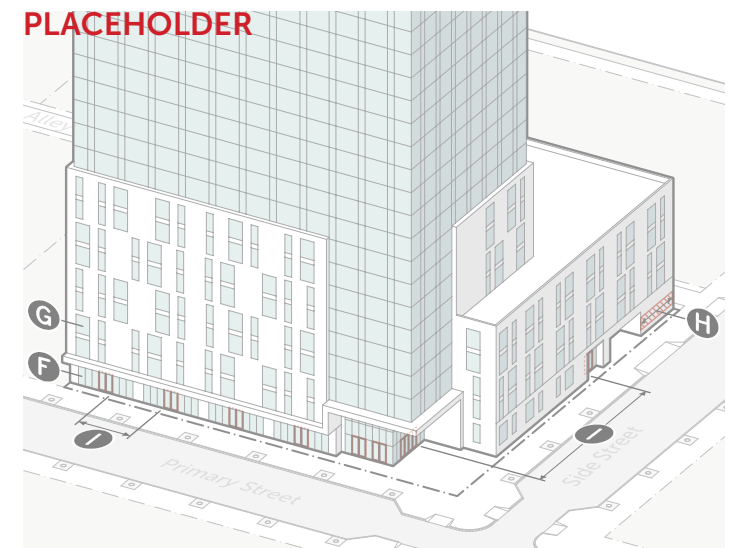
5. Building Setbacks	<i>Sec. XX.XX.</i>
D Street setback (min/max)	See Streetscape Map
E Side setback (min)	0'
F Rear setback (min)	0'
6. Transition	<i>Sec. XX.XX.</i>
Transition type	High
7. Build-To	<i>Sec. XX.XX.</i>
Build-to width (min)	
G Primary / storefront street	85%
H Side street	65%
8. Parking Location	<i>Sec. XX.XX.</i>
No parking allowed between building and street	

UC2 URBAN CORE 2

B. Building Standards



1. Massing	<i>Sec. XX.XX.</i>
A Building height (stories/feet)	
Minimum height	3 stories / 35'
Maximum height	Unlimited
B Building width (max)	175'
2. Activation	<i>Sec. XX.XX.</i>
C Active depth (min)	
Primary / storefront street	30'
Side street	15'
3. Ground Story	<i>Sec. XX.XX.</i>
D Ground story height (min)	14'
E Ground story elevation (min/max)	-2' / 4'

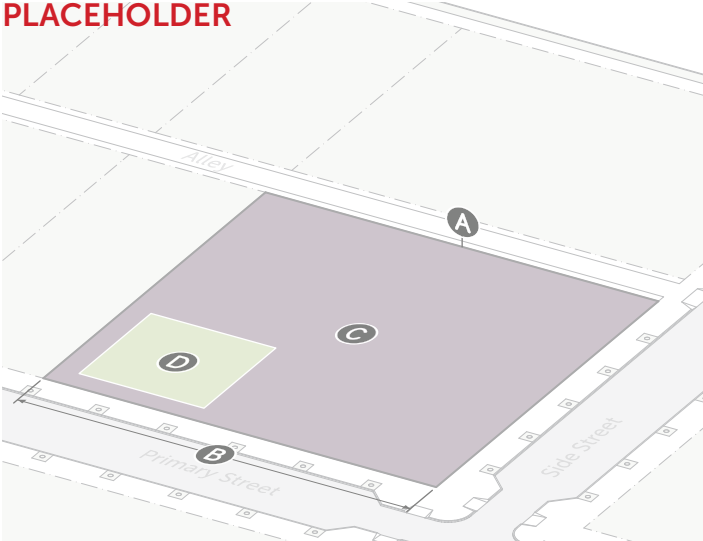


4. Windows and Doors		Sec. XX.XX.	
	Res.	Nonres.	
F Ground story windows (min)			
Primary / storefront street	70%	70%	
Side street	25%	50%	
G Upper story windows (min)	20%	20%	
I Blank wall width (max)			
Primary / storefront street	10'	10'	
Side street	20'	20'	
H Street-facing entry	Required	Required	
5. Fences and Walls		Sec. XX.XX.	
	Res.	Nonres.	
Front yard	Type 1	Type 4	
Side street yard	Type 2	Type 4	
Side / rear yard	Type 3	Type 5	

SEC. 2.5.4. UC3 URBAN CORE 3

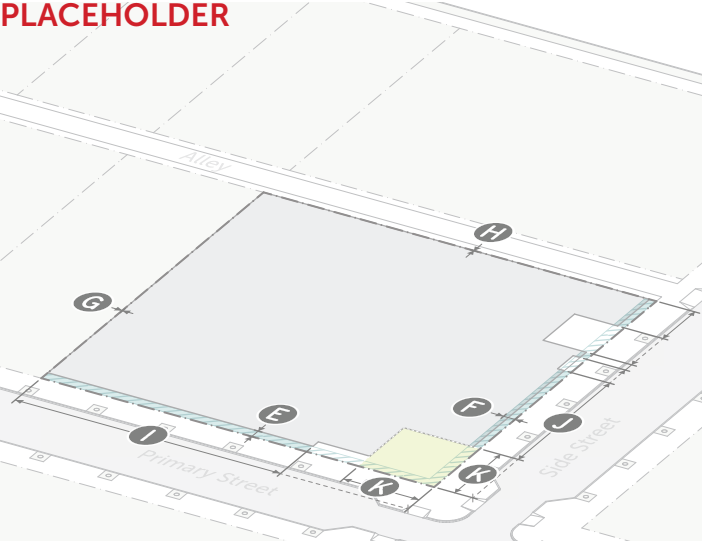
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	None
B Lot width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	
Base	10.0
With bonus	20.0
3. Coverage	Sec. XX.XX.
Building coverage (max)	None
C Outdoor amenity space (min)	10%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required

PLACEHOLDER

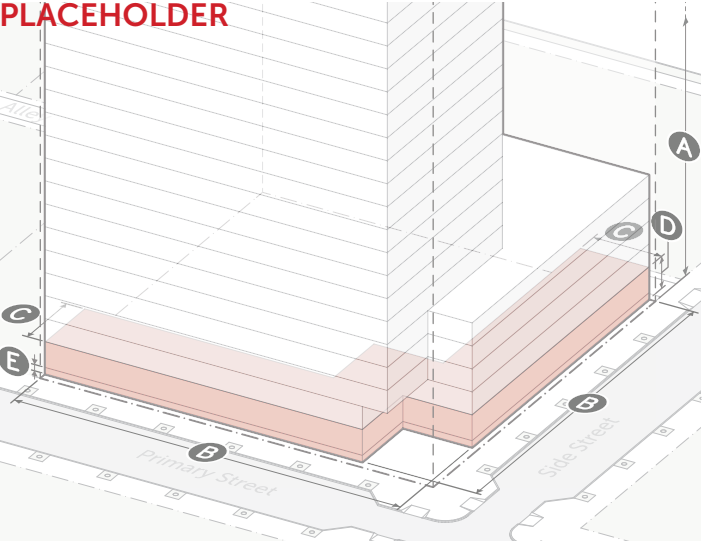


5. Building Setbacks	Sec. XX.XX.
D Street setback (min/max)	See Streetscape Map
E Side setback (min)	0'
F Rear setback (min)	0'
6. Build-To	Sec. XX.XX.
Build-to width (min)	
G Primary / storefront street	85%
H Side street	65%
7. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

UC3 URBAN CORE 3

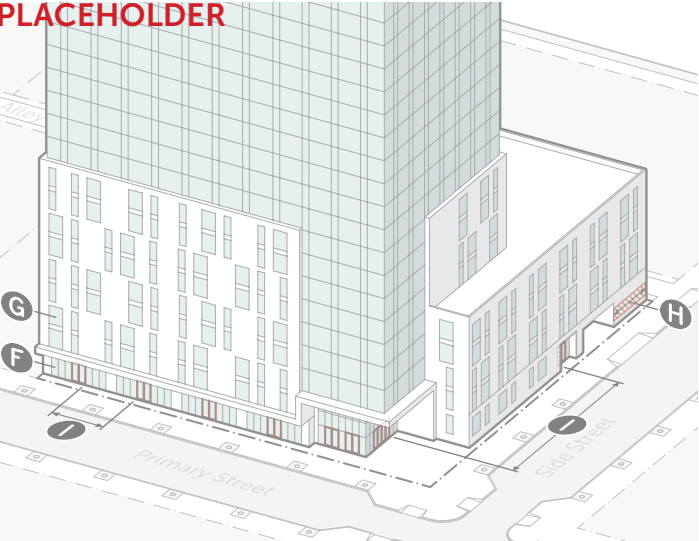
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (stories/feet)	
Minimum height	3 stories / 35'
Maximum height	Unlimited
B Building width (max)	175'
2. Activation	Sec. XX.XX.
C Active depth (min)	
Primary / storefront street	30'
Side street	15'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	14'
E Ground story elevation (min/max)	-2' / 4'

PLACEHOLDER

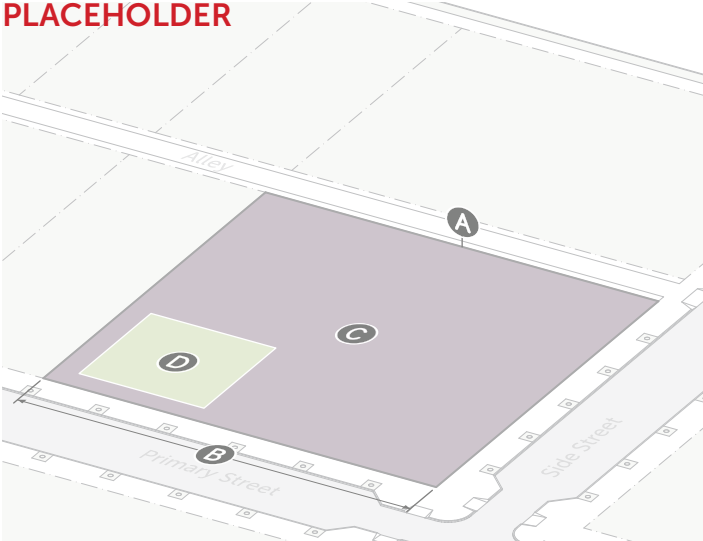


4. Windows and Doors	Sec. XX.XX.	
	Res.	Nonres.
F Ground story windows (min)		
Primary / storefront street	70%	70%
Side street	25%	50%
G Upper story windows (min)	20%	20%
I Blank wall width (max)		
Primary / storefront street	10'	10'
Side street	20'	20'
H Street-facing entry	Required	Required
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type 1	Type 4
Side street yard	Type 2	Type 4
Side / rear yard	Type 3	Type 5

SEC. 2.5.5. UC4 URBAN CORE 4

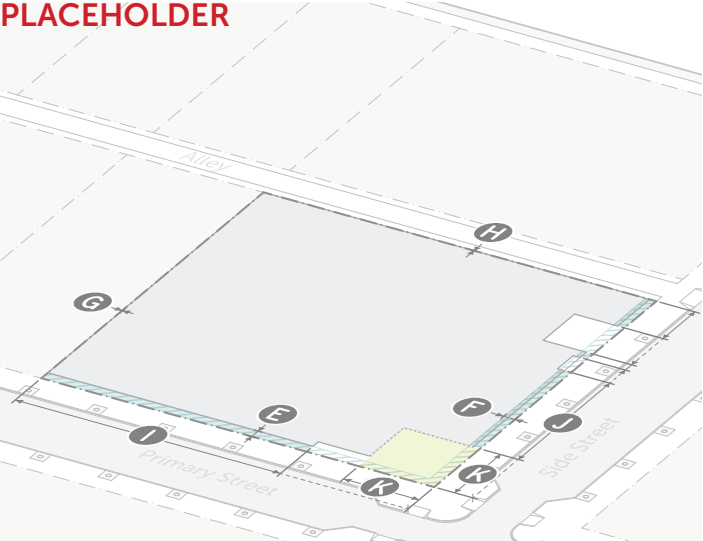
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	None
B Lot width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	
Base	25.0
With bonus	35.0
3. Coverage	Sec. XX.XX.
Building coverage (max)	None
C Outdoor amenity space (min)	10%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required

PLACEHOLDER

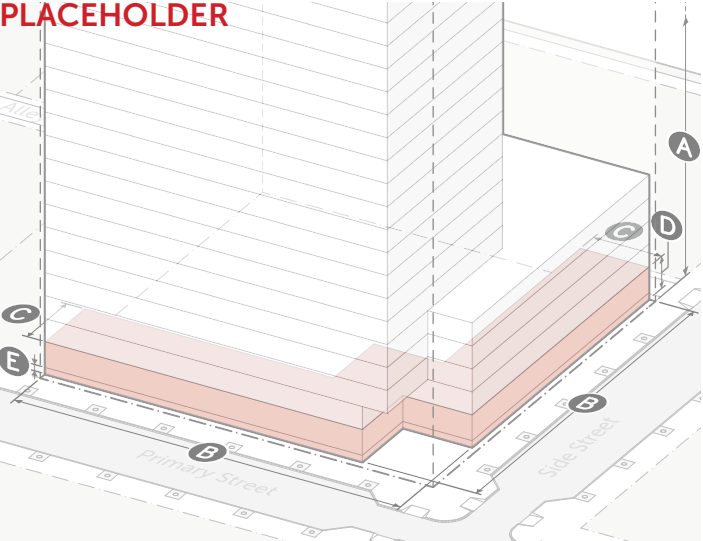


5. Building Setbacks	Sec. XX.XX.
D Street setback (min/max)	See Streetscape Map
E Side setback (min)	0'
F Rear setback (min)	0'
6. Build-To	Sec. XX.XX.
Build-to width (min)	
G Primary / storefront street	85%
H Side street	65%
7. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

UC4 URBAN CORE 4

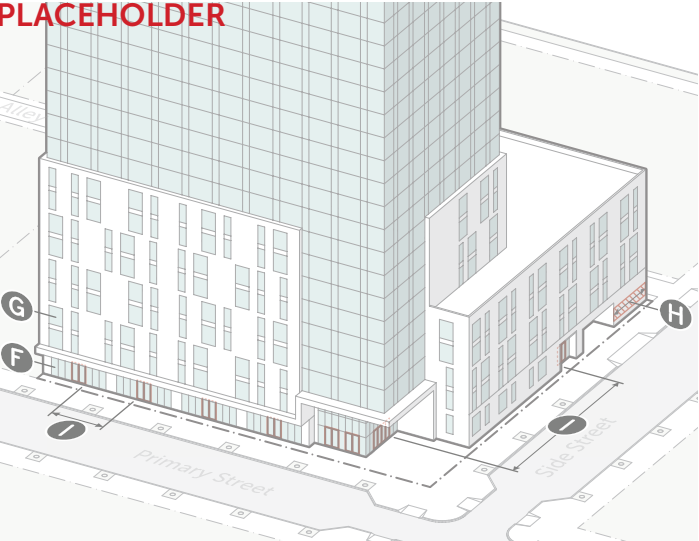
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (stories/feet)	
Minimum height	3 stories / 35'
Maximum height	Unlimited
B Building width (max)	175'
2. Activation	Sec. XX.XX.
C Active depth (min)	
Primary / storefront street	30'
Side street	15'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	14'
E Ground story elevation (min/max)	-2' / 4'

PLACEHOLDER



4. Windows and Doors	Sec. XX.XX.	
	Res.	Nonres.
F Ground story windows (min)		
Primary / storefront street	70%	70%
Side street	25%	50%
G Upper story windows (min)	20%	20%
I Blank wall width (max)		
Primary / storefront street	10'	10'
Side street	20'	20'
H Street-facing entry	Required	Required
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type 1	Type 4
Side street yard	Type 2	Type 4
Side / rear yard	Type 3	Type 5

DIVISION 2.6. **WORKPLACE FLEX DISTRICTS**



Sec. 2.6.1. **Intent**

Workplace Flex Form Districts are intended to accommodate a variety building types that are typically moderate- to higher-intensity and in areas that are intended to become more vibrant pedestrian-friendly environments. These Form Districts require tall ground floors to accommodate a variety of uses on the ground story.

Workplace Flex Form Districts are typically paired with Use Districts that allow low-impact industrial and manufacturing uses while also allowing for residential opportunities and retail, service, and commercial activities in a vibrant, pedestrian-friendly environment.

Sec. 2.6.2. **Summary of Districts**

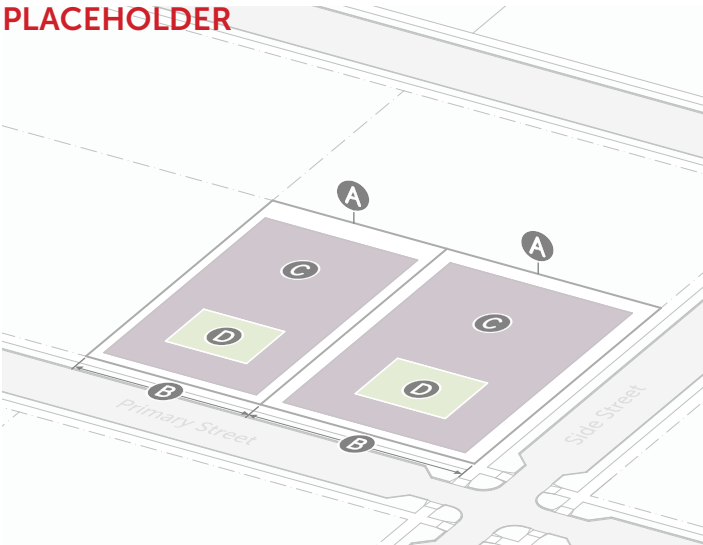
The following table includes a summary of some requirements for each Workplace Flex Form District. Detailed requirements are further described in this Division.

WORKPLACE FLEX DISTRICTS				
District	Lot Area (min)	Lot Width (min)	FAR (GLA max)	Height (max)
WX5	None	None	3.5	5 stories / 65'
WX15	None	None	3.5	15 stories / 210'

SEC. 2.6.3. **WX5** WORKPLACE FLEX 5

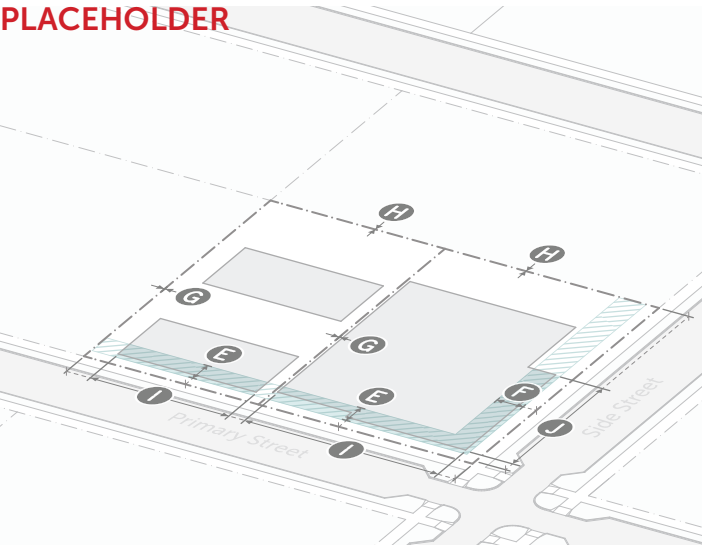
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	None
B Lot width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	3.5
3. Coverage	Sec. XX.XX.
C Building coverage (max)	85%
D Outdoor amenity space (min)	10%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Industrial	Required
Other uses / storefront	Not required

PLACEHOLDER

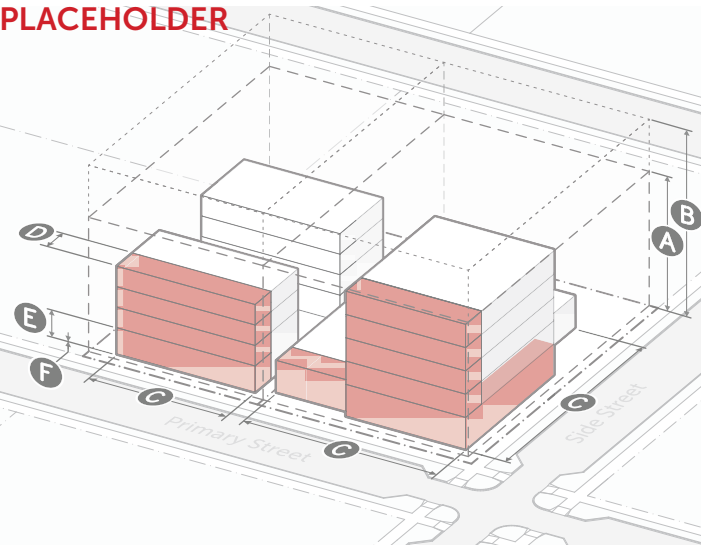


5. Building Setbacks	Sec. XX.XX.
E Street setback (min/max)	
Primary / storefront street	5' / 20'
Side street	5' / 20'
F Side setback (min)	0'
G Rear setback (min)	0'
6. Transition	Sec. XX.XX.
Transition type	Medium
7. Build-To	Sec. XX.XX.
Build-to width (min)	
H Primary / storefront street	75%
I Side street	45%
8. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

WX5 WORKPLACE FLEX 5

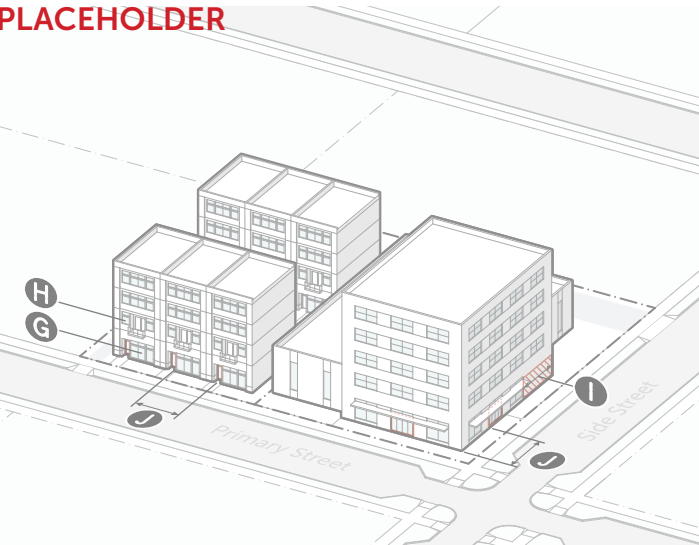
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	5 stories / 65'
B Building width (max)	275'
2. Activation	Sec. XX.XX.
C Active depth (min)	
Primary / storefront street	20'
Side street	10'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	14'
E Ground story elevation (min/max)	-2' / 4'

PLACEHOLDER

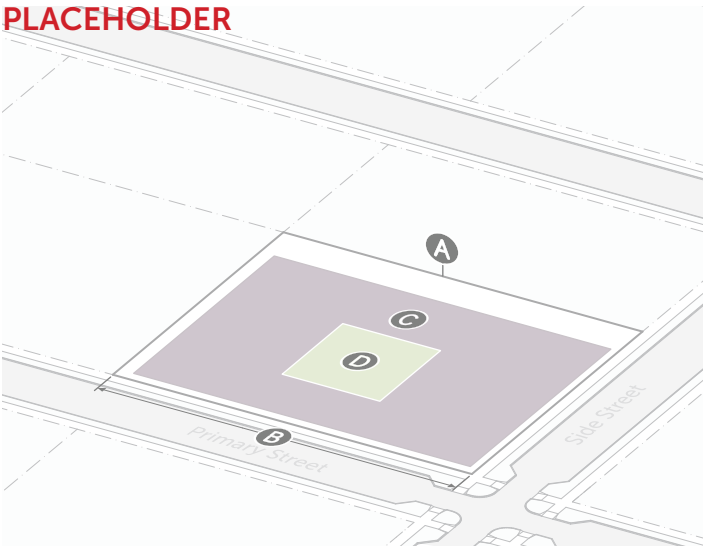


4. Windows and Doors	Sec. XX.XX.		
	Res.	Ind.	Other
F Ground story windows (min)			
Primary / storefront street	30%	30%	65%
Side street	25%	15%	25%
G Upper story windows (min)	20%	None	20%
I Blank wall width (max)			
Primary / storefront street	20'	75'	20'
Side street	40'	75'	40'
H Street-facing entry	Req'd	Req'd	Req'd
5. Fences and Walls	Sec. XX.XX.		
	Res.	Ind.	Other
Front yard	Type 1	Type 6	Type 4
Side street yard	Type 2	Type 6	Type 4
Side / rear yard	Type 3	Type 7	Type 5

SEC. 2.6.4. **WX15** WORKPLACE FLEX 15

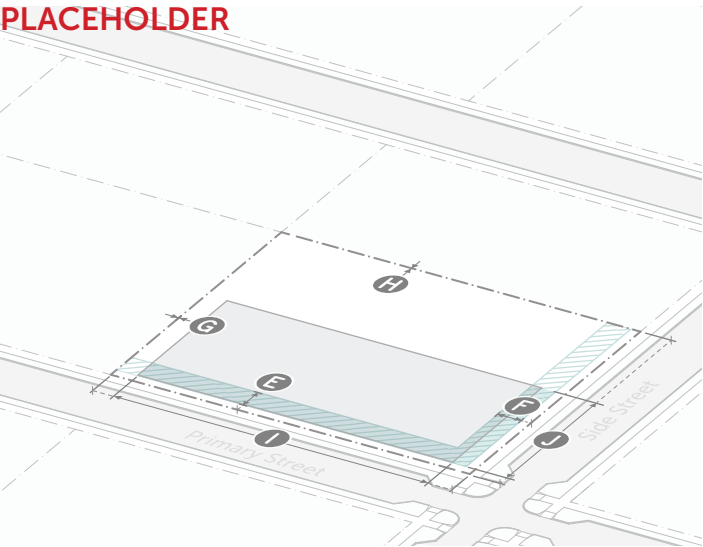
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	None
B Lot width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	3.5
3. Coverage	Sec. XX.XX.
C Building coverage (max)	85%
D Outdoor amenity space (min)	10%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Industrial	Required
Other uses / storefront	Not required

PLACEHOLDER

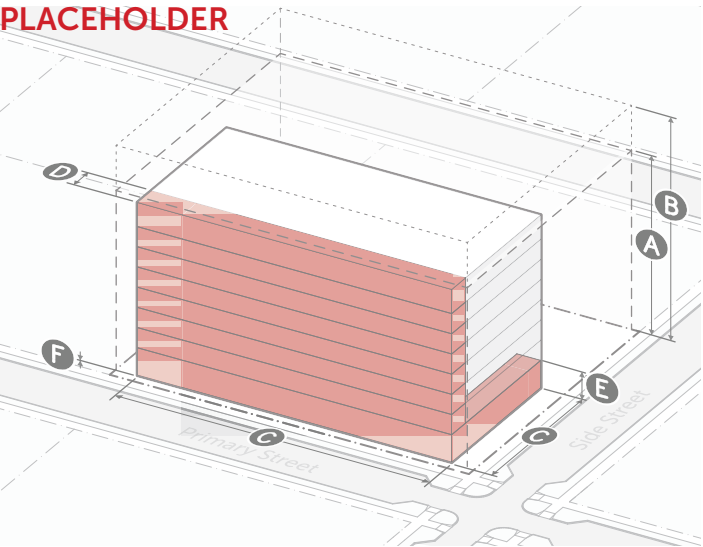


5. Building Setbacks	Sec. XX.XX.
E Street setback (min/max)	
Primary / storefront street	5' / 20'
Side street	5' / 20'
F Side setback (min)	0'
G Rear setback (min)	0'
6. Transition	Sec. XX.XX.
Transition type	Medium
7. Build-To	Sec. XX.XX.
Build-to width (min)	
H Primary / storefront street	75%
I Side street	45%
8. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

WX15 WORKPLACE FLEX 15

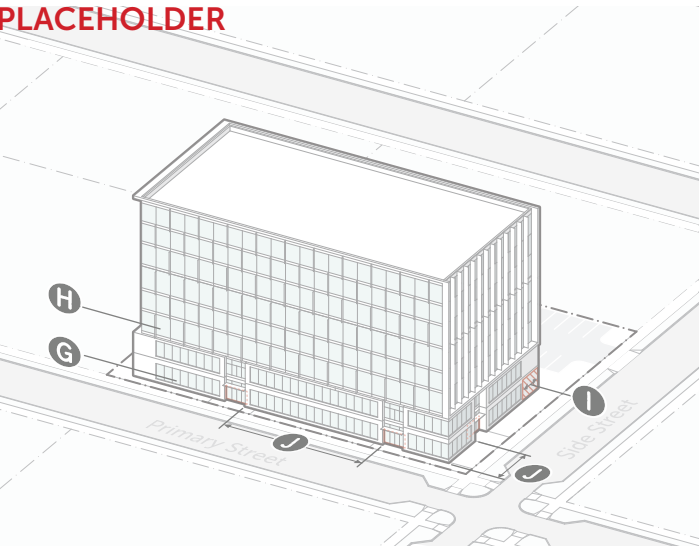
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	15 stories / 210'
B Building width (max)	275'
2. Activation	Sec. XX.XX.
C Active depth (min)	
Primary / storefront street	20'
Side street	10'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	14'
E Ground story elevation (min/max)	-2' / 4'

PLACEHOLDER



4. Windows and Doors	Sec. XX.XX.		
	Res.	Ind.	Other
F Ground story windows (min)			
Primary / storefront street	30%	30%	65%
Side street	25%	15%	25%
G Upper story windows (min)	20%	None	20%
I Blank wall width (max)			
Primary / storefront street	20'	75'	20'
Side street	40'	75'	40'
H Street-facing entry	Req'd	Req'd	Req'd
5. Fences and Walls	Sec. XX.XX.		
	Res.	Ind.	Other
Front yard	Type 1	Type 6	Type 4
Side street yard	Type 2	Type 6	Type 4
Side / rear yard	Type 3	Type 7	Type 5

DIVISION 2.7. **WORKPLACE DISTRICTS**

PLACEHOLDER
FOR GRAPHIC

Sec. 2.7.1. **Intent**

Workplace Form Districts are intended to accommodate larger-footprint buildings generally in auto-oriented areas with limited walkability to residential, retail, service, and other commercial uses.

Workplace Form Districts are generally paired with Use Districts that allow a range of commercial and industrial activities, including those where outdoor storage is needed.

Sec. 2.7.2. **Summary of Districts**

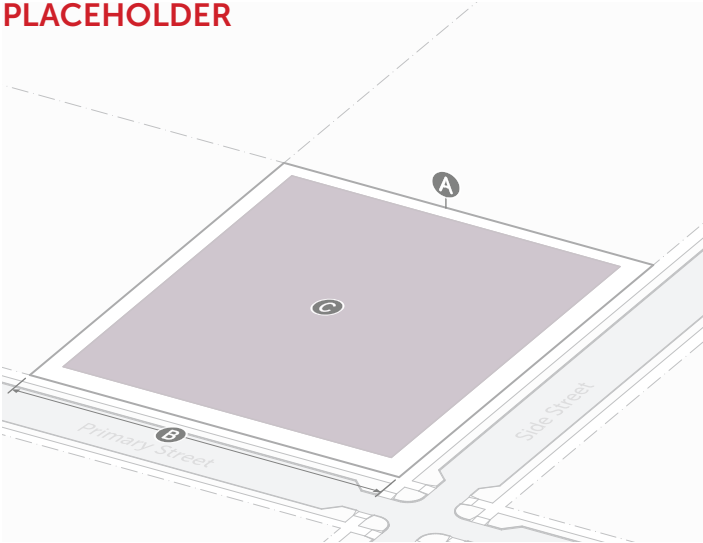
The following table includes a summary of some requirements for each Workplace Form District. Detailed requirements are further described in this Division.

WORKPLACE FLEX DISTRICTS				
District	Lot Area (min)	Lot Width (min)	FAR (GLA max)	Height (max)
W1	None	None	2.0	Unlimited
W2	None	None	2.0	Unlimited

SEC. 2.7.3. **W1** WORKPLACE 1

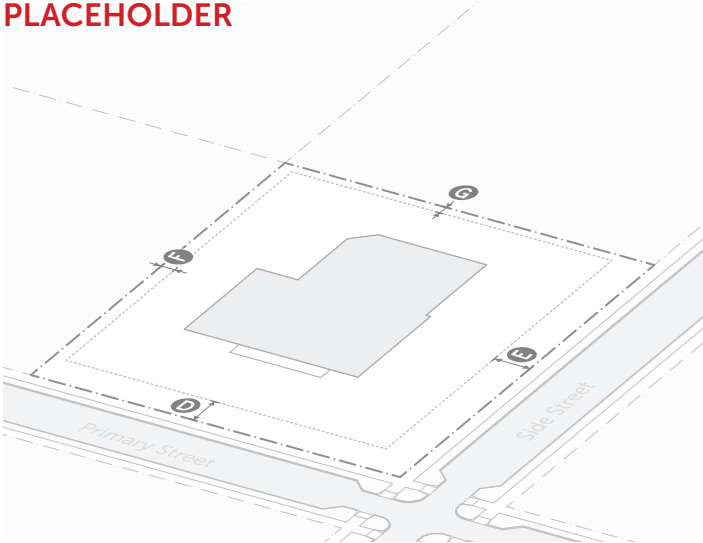
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	None
B Lot width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Not allowed
C FAR (GLA max)	2.0
3. Coverage	Sec. XX.XX.
Building coverage (max)	80%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

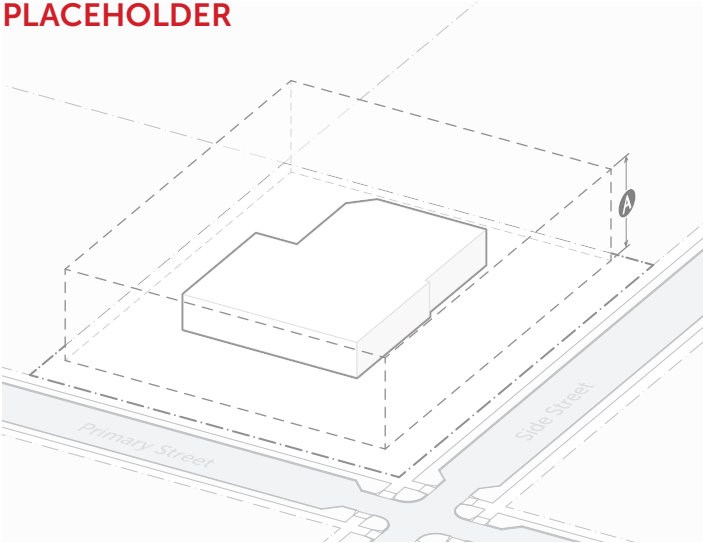


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	30'
E Side street	15'
F Side setback (min)	5'
G Rear setback (min)	5'
6. Transition	Sec. XX.XX.
Transition type	Medium
7. Parking Location	Sec. XX.XX.
Front yard	Allowed
Side street yard	Allowed
Side / rear yard	Allowed

W1 WORKPLACE 1

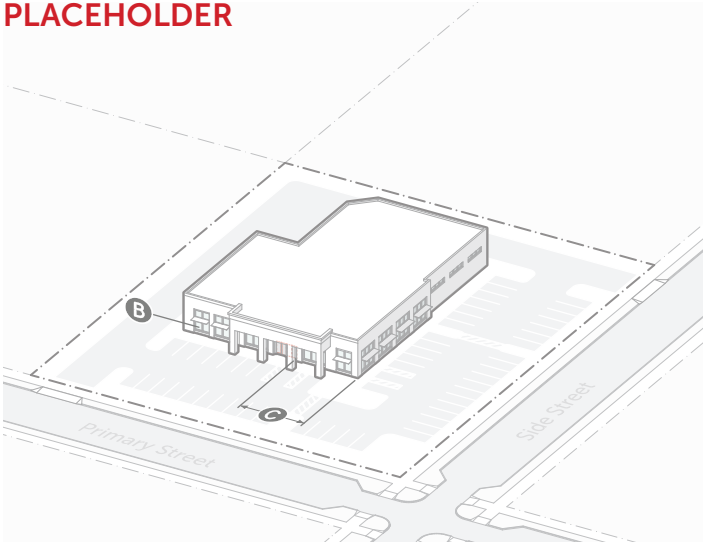
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max)	Unlimited
Building width (max)	Unlimited

PLACEHOLDER

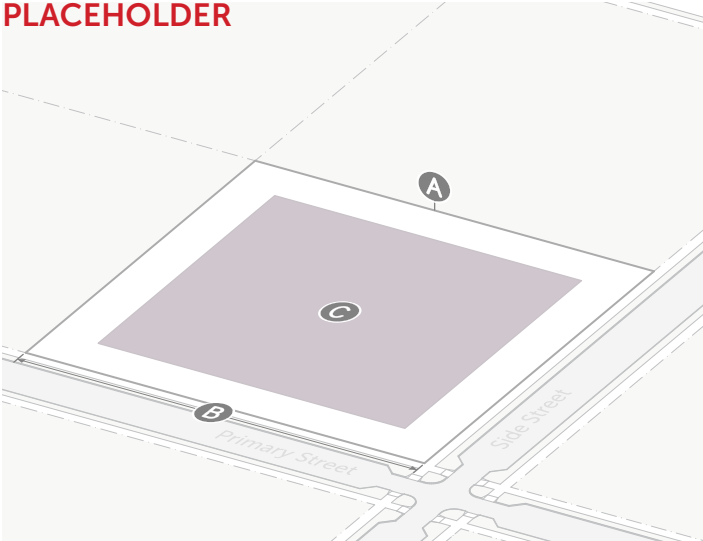


2. Windows and Doors	Sec. XX.XX.
F Ground story windows (min)	
Primary street	30%
Side street	15%
G Upper story windows (min)	None
I Blank wall width (max)	None
H Street-facing entry	Required
3. Fences and Walls	Sec. XX.XX.
Front yard	Type 6
Side street yard	Type 6
Side / rear yard	Type 7

SEC. 2.7.4. **W2** WORKPLACE 2

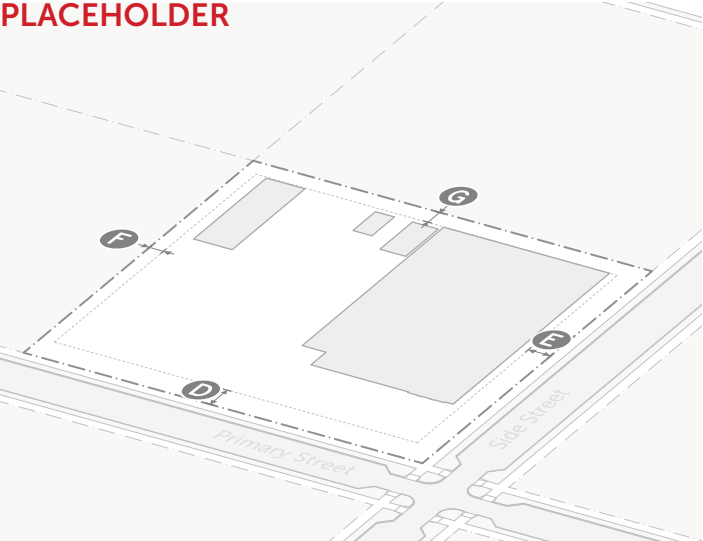
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	None
B Lot width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Not allowed
C FAR (GLA max)	2.0
3. Coverage	Sec. XX.XX.
Building coverage (max)	70%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

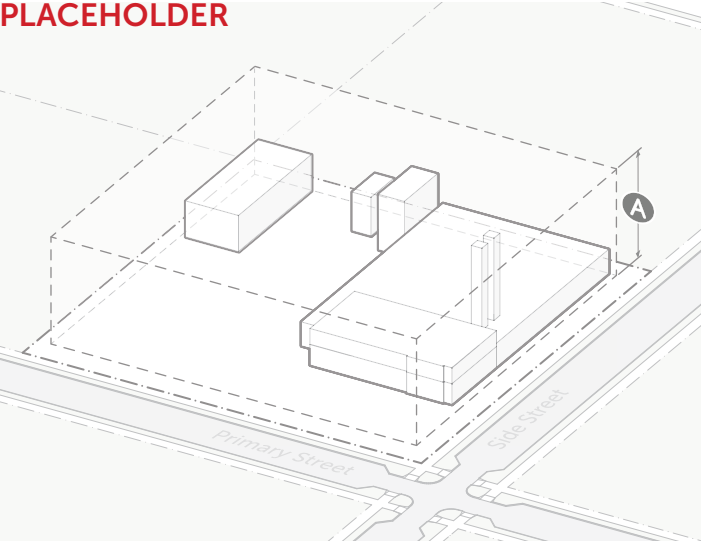


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	40'
E Side street	20'
F Side setback (min)	10'
G Rear setback (min)	10'
6. Transition	Sec. XX.XX.
Transition type	High
7. Parking Location	Sec. XX.XX.
Front yard	Allowed
Side street yard	Allowed
Side / rear yard	Allowed

W2 WORKPLACE 2

B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max)	Unlimited
Building width (max)	Unlimited
2. Fences and Walls	Sec. XX.XX.
Front yard	Type 6
Side street yard	Type 6
Side / rear yard	Type 7

DIVISION 2.8. SPECIAL DISTRICTS

PLACEHOLDER
FOR GRAPHIC

Sec. 2.8.1. Intent

Special Form Districts are intended to accommodate a mix of building types that serve the surrounding neighborhoods and produce activities that do not readily assimilate into other districts. Campus (CM) is intended for campus-like settings with larger lots, more open space, and larger buildings, and allows for activities including mixed employment and technology hubs and hospitals. Civic (CV) is intended for public, civic, and institutional uses. Park (PK) is intended to create, preserve, and enhance parkland and environmentally sensitive areas.

Sec. 2.8.2. Summary of Districts

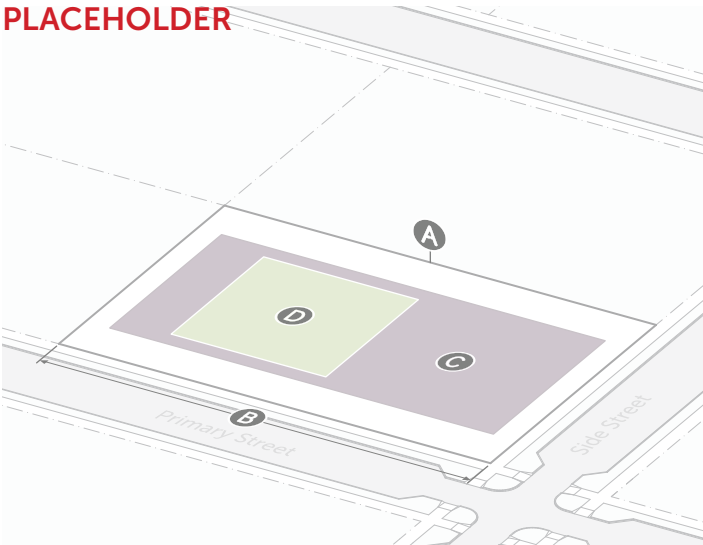
The following table includes a summary of some requirements for each Special Form District. Detailed requirements are further described in this Division.

SPECIAL DISTRICTS				
District	Lot Area (min)	Lot Width (min)	FAR (GLA max)	Height (max)
CM	None	100’	6.0	Unlimited
CV	10,000 sf	50’	None	5 stories / 70’
PK	2,000 sf	20’	None	35’

SEC. 2.8.3. CM CAMPUS

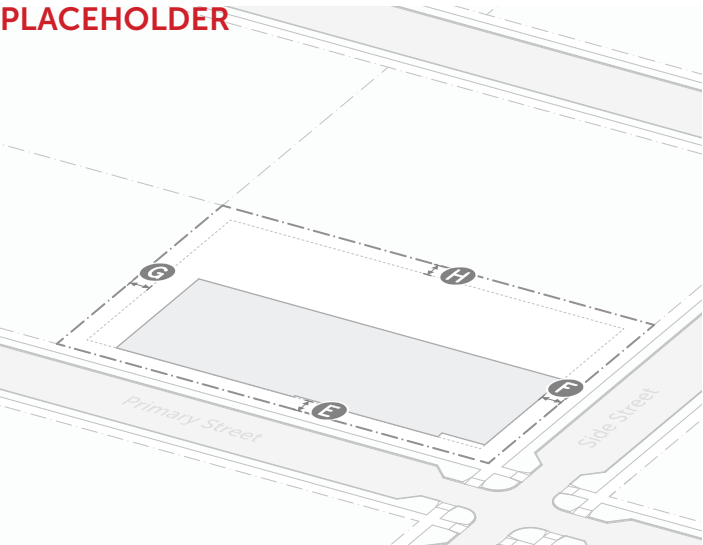
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	None
B Lot width (min)	100'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	6.0
3. Coverage	Sec. XX.XX.
C Building coverage (max)	60%
D Outdoor amenity space (min)	20%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

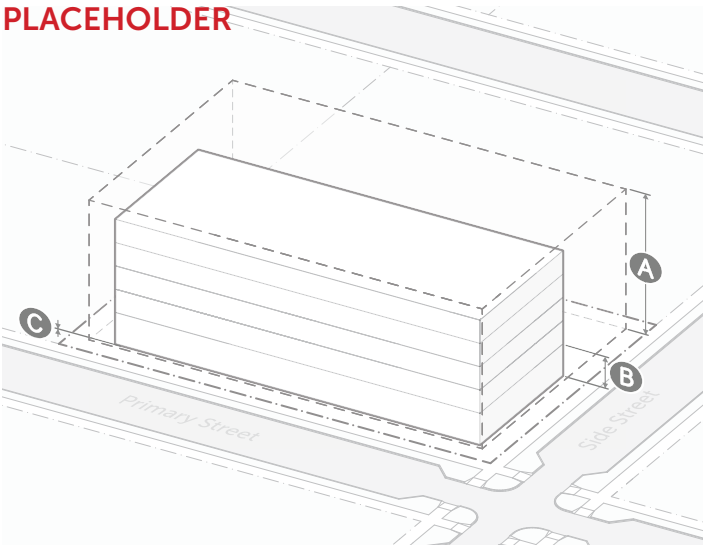


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
E Primary / storefront street	40'
F Side street	20'
G Side setback (min)	15'
H Rear setback (min)	15'
6. Transition	Sec. XX.XX.
Transition type	Medium
7. Parking Location	Sec. XX.XX.
Front yard	Not allowed
Side street yard	Allowed
Side / rear yard	Allowed

CM CAMPUS

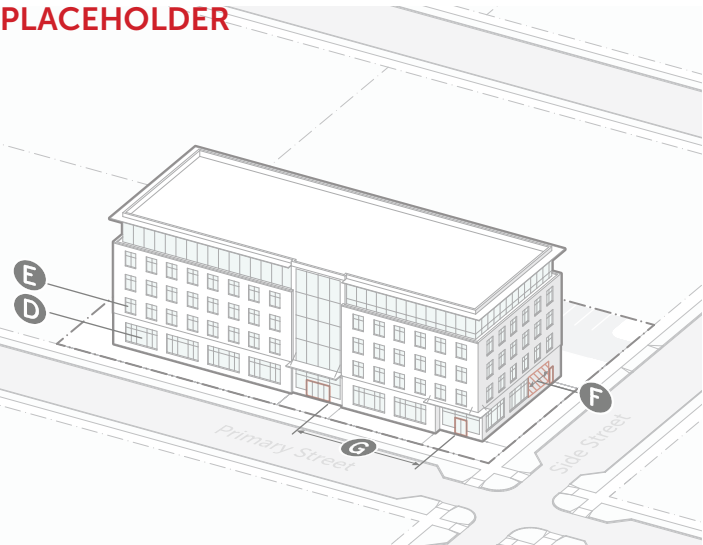
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max)	Unlimited
Building width (max)	Unlimited
2. Ground Story	Sec. XX.XX.
B Ground story height (min)	10'
C Ground story elevation (min/max)	-2' / 4'

PLACEHOLDER

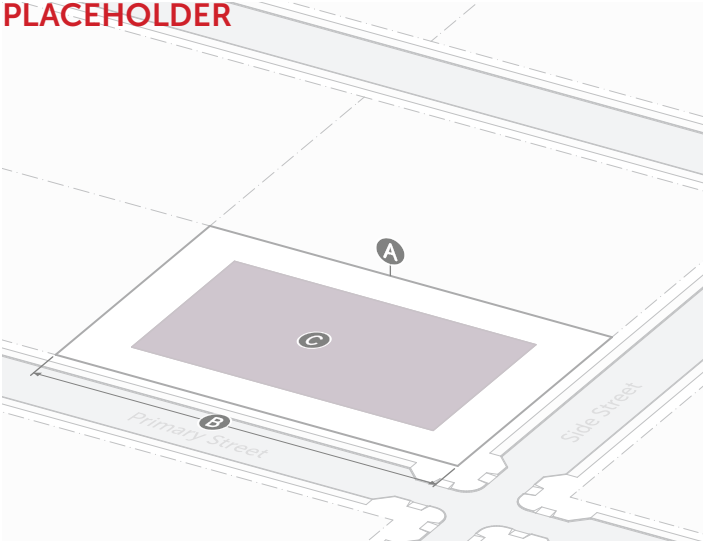


3. Windows and Doors	Sec. XX.XX.
D Ground story windows (min)	30%
E Upper story windows (min)	15%
F Blank wall width (max)	
Primary / storefront street	25'
Side street	50'
G Street-facing entry	Required
4. Fences and Walls	Sec. XX.XX.
Front yard	Type 4
Side street yard	Type 4
Side / rear yard	Type 5

SEC. 2.8.4. CV CIVIC

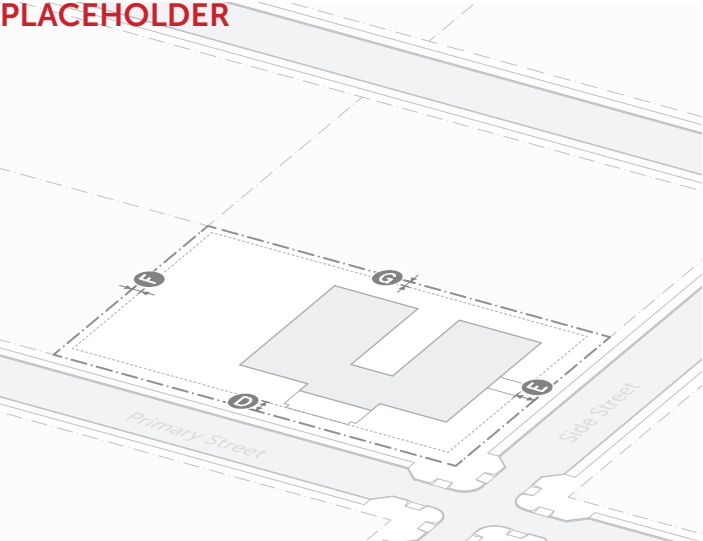
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	10,000 sf
B Lot width (min)	50'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Not allowed
3. Coverage	Sec. XX.XX.
C Building coverage (max)	50%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

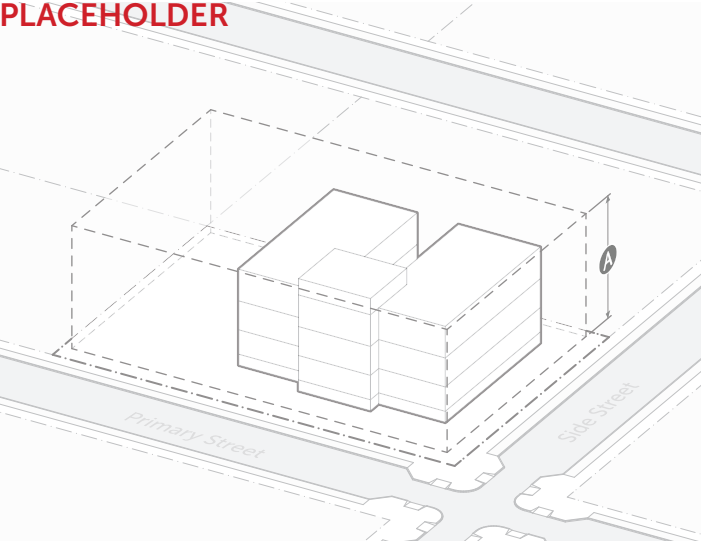


5. Building Setbacks	Sec. XX.XX.
D Street setback (min)	
Primary / storefront street	10'
Side street	10'
E Side setback (min)	5'
F Rear setback (min)	5'
6. Transition	Sec. XX.XX.
Transition type	Medium
7. Parking Location	Sec. XX.XX.
Front yard	Not allowed
Side street yard	Allowed
Side / rear yard	Allowed

CV CIVIC

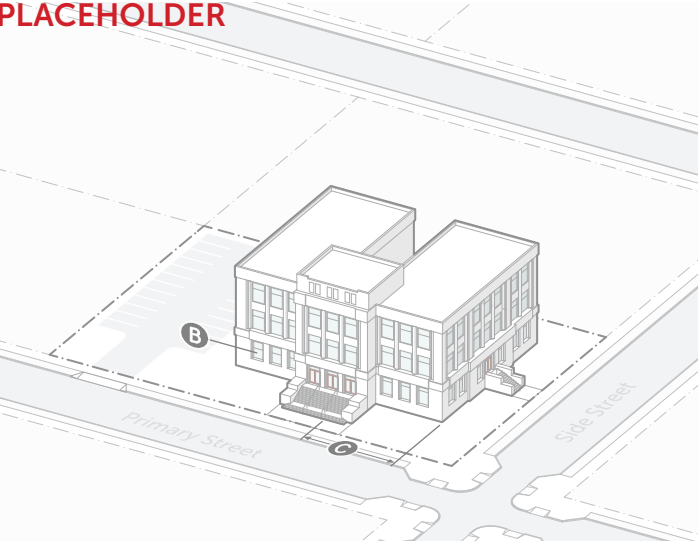
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	5 stories / 68'
Building width (max)	Unlimited

PLACEHOLDER

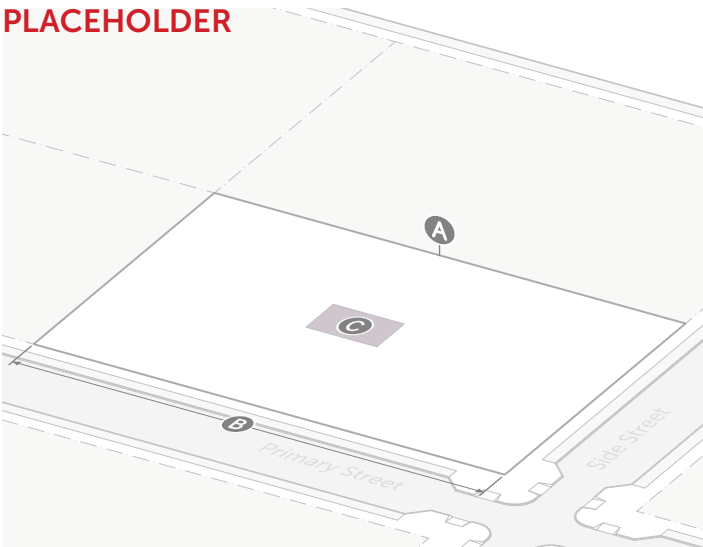


2. Windows and Doors	Sec. XX.XX.
B Ground story windows (min)	20%
Upper story windows (min)	None
Blank wall width (max)	None
C Street-facing entry	Required
3. Fences and Walls	Sec. XX.XX.
Front yard	Type 4
Side street yard	Type 4
Side / rear yard	Type 5

SEC. 2.8.5. PK PARK

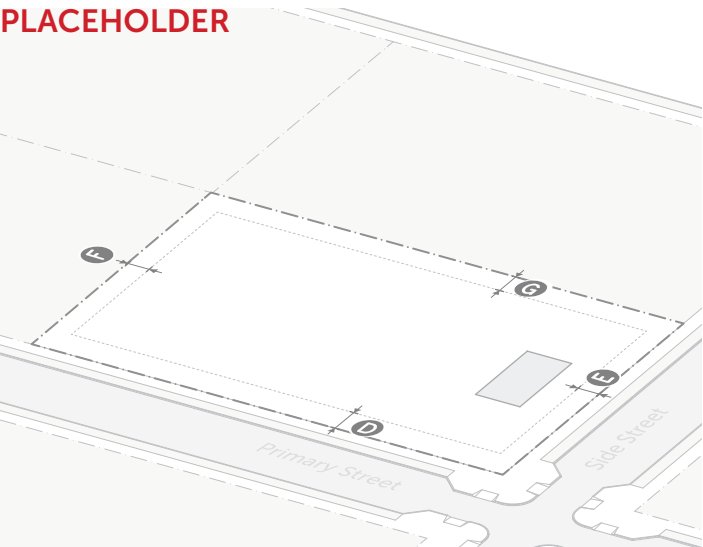
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	2,000 sf
B Lot width (min)	20'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Not allowed
3. Coverage	Sec. XX.XX.
C Building coverage (max)	15%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

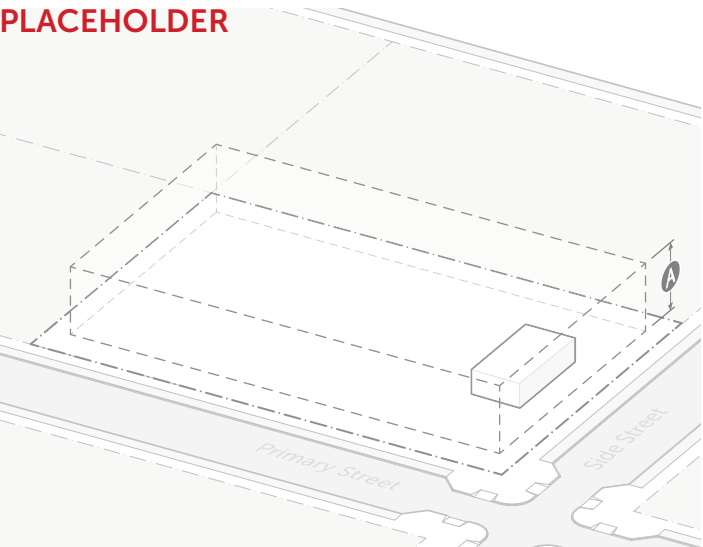


5. Building Setbacks	Sec. XX.XX.
D Street setback (min)	
Primary / storefront street	10'
Side street	10'
E Side setback (min)	10'
F Rear setback (min)	5'
6. Transition	Sec. XX.XX.
Transition type	Medium
7. Parking Location	Sec. XX.XX.
Front yard	Allowed
Side street yard	Allowed
Side / rear yard	Allowed

PK PARK

B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max)	35'

DIVISION 2.9. ALTERNATE FORMS

Sec. 2.9.1. Intent

Alternate Forms are intended to provide an option to override some standards in the underlying Form District when the standards would otherwise prohibit a desired development configuration for certain uses. In exchange for greater flexibility on some standards, Alternate Forms may require other, higher standards to ensure the development outcomes are contextually appropriate.

Sec. 2.9.2. Applicability

A. How to Use Alternate Forms

1. Corner Store, Civic Institution, and Park

- a. A development may choose to use the Corner Store, Civic Institution, and Park Alternate Forms instead of the underlying standards of the Form District if all the following criteria are met:
 - i. The underlying Form District must be listed as an eligible district;
 - ii. The underlying Use District (Chapter 4) must allow the eligible use; and
 - iii. The lot must contain one of the eligible uses.

2. Urban General

A developments is only allowed to use Urban General Alternate Form when it is required in Overlay Districts (Chapter 5).

B. Relationship to Form Districts

- 1. Where a standard is listed in an Alternate Form and the underlying Form District, the standard listed in this Division supersedes the standard listed for the underlying Form District.
- 2. The underlying Form District standard applies when an Alternate Form:
 - a. Defers to the underlying Form District (for example, “Set by Form District”);
 - b. Provides no requirement for a standard listed by the underlying Form District; or
 - c. Does not list a standard that is listed by the underlying Form District.

C. Relationship to Use Districts

For uses with additional standards listed in Div. 4.4. Use Standards, the Use District supersedes any conflicting standard listed in the Alternate Form.

Sec. 2.9.3. Corner Store

A. Intent

Corner Store is intended to accommodate small-scale, neighborhood-serving commercial uses at a scale appropriate for predominately residential settings and encourage the reuse of existing neighborhood commercial buildings. This Alternate Form intends to improve the walkability of residential neighborhoods, provide surrounding residents with amenities within a convenient distance of their homes, and support community-oriented small business development.

B. Eligible Form Districts

When the Use District allows an eligible use, and the lot contains an eligible use, Corner Store is allowed in the following Form Districts:

- 1. Neighborhood-Scale (N-); and
- 2. Urban General (UG-).

C. Eligible Uses

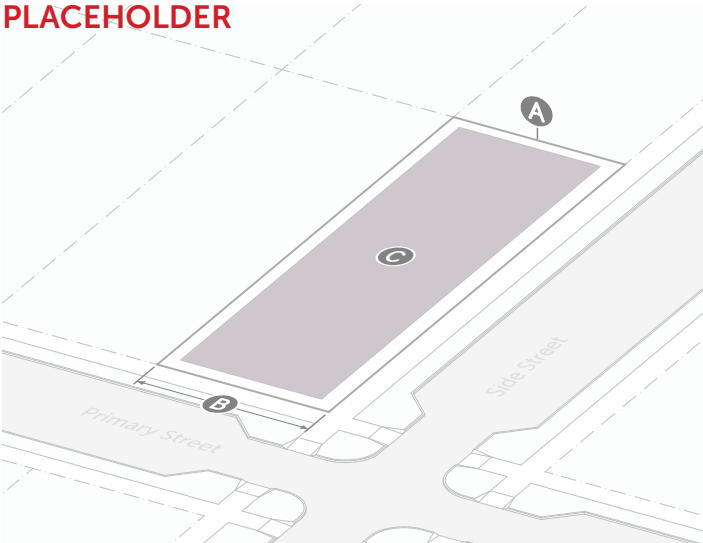
When the lot is in an eligible Form District and the use is allowed by the Use District, Corner Store is allowed for the following uses:

- 1. Live-work;
- 2. General food and beverage;
- 3. Bakery, wholesale;
- 4. Bar;
- 5. Catering establishment;
- 6. General medical;
- 7. General office;
- 8. Sound recording studio;
- 9. General personal service;
- 10. Hair or nail salon;
- 11. Laundry service;
- 12. General retail;
- 13. Artisan workshop;
- 14. Grocery store; and
- 15. Small discount variety store.

CORNER STORE

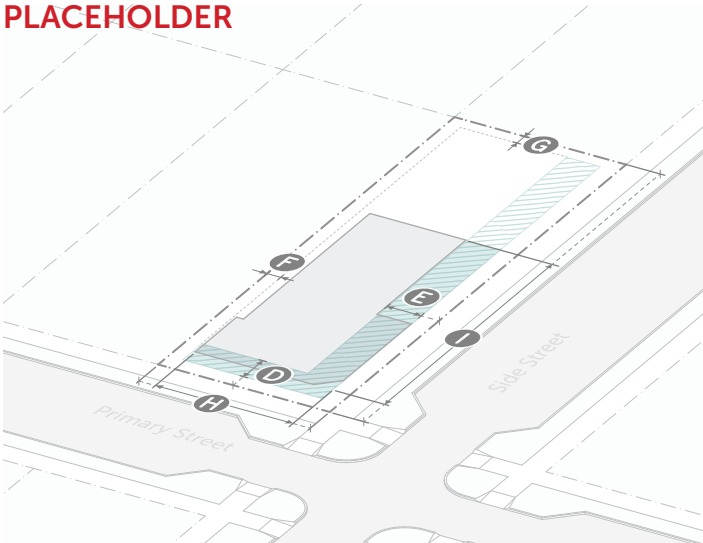
D. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	Set by Form District
B Lot width (min)	Set by Form District
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Set by Form District
3. Coverage	Sec. XX.XX.
C Building coverage (max)	Set by Form District
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

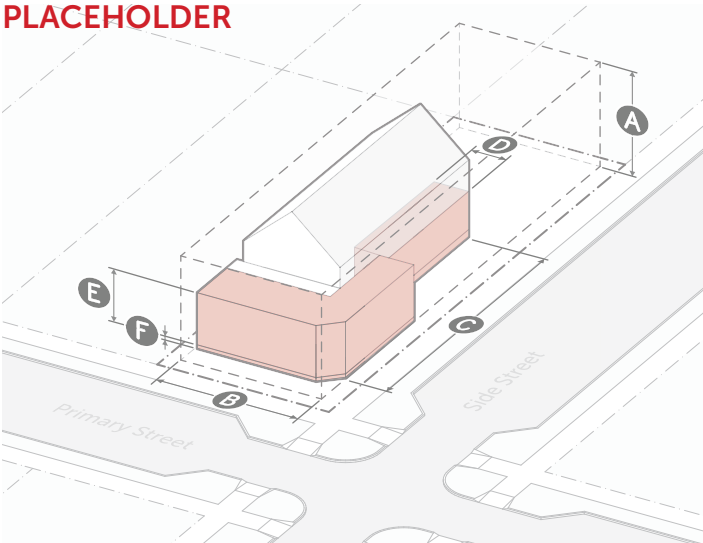


5. Building Setbacks	Sec. XX.XX.
D Street setback (min/max)	
Primary / storefront street	029 5' / 15'
Side street	5' / 15'
E Side setback (min)	4'
F Rear setback (min)	4'
6. Build-To	Sec. XX.XX.
Build-to width (min)	
Primary / storefront street	80%
Side street	60%
7. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

CORNER STORE

E. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	2.5 stories / 35'
B Building width (max)	
Primary / storefront street	40'
Side street	70'
2. Massing	Sec. XX.XX.
C Active depth (feet)	
Primary / storefront street	15'
Side street	15'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	14'
E Ground story elevation (min/max)	-2' / 4'



4. Windows and Doors	Sec. XX.XX.
F Ground story windows (min)	
Primary / storefront street	50%
Side street	25%
G Upper story windows (min)	20%
H Blank wall width (max)	
Primary / storefront street	10'
Side street	20'
I Street-facing entry	Required
5. Fences and Walls	Sec. XX.XX.
Front yard	Type 4
Side street yard	Type 4
Side / rear yard	Type 5

#029

Posted by **crome** on **02/08/2025** at **6:31am** [Comment ID: 1056] - [Link](#)

Suggestion

Agree: 0, Disagree: 0

Allow 0' front and side setbacks to match existing corner stores with historic charm

Reply by **SiteAdmin** on **02/09/2025** at **8:42am** [Comment ID: 1059] - [Link](#)

Answer

Agree: 0, Disagree: 0

Thank you for your feedback.

We are recommending a 5-foot setback to provide space for outdoor displays and cafe seating - both of which cannot occupy a public right-of-way. We anticipated that this would "read" as a wider sidewalk in front of the corner store. This is especially important in areas where the surrounding pattern of residential sidewalks is narrow.

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Sec. 2.9.4. Civic Institution

A. Intent

Civic Institution is intended to promote placemaking through architectural monuments and publicly accessible civic spaces. This Alternate Form allows greater design flexibility for civic institutions to differentiate civic assets from the surrounding built environment.

B. Eligible Form Districts

When the Use District allows an eligible use, and the lot contains an eligible use, Civic Institution is allowed in the following Form Districts:

- 1. House-Scale (H-)
- 2. Neighborhood-Scale (N-);
- 3. Urban General (UG-);
- 4. Urban Core (UC-);
- 5. Workplace Flex (WX-); and
- 6. Workplace (W-).

C. Eligible Uses

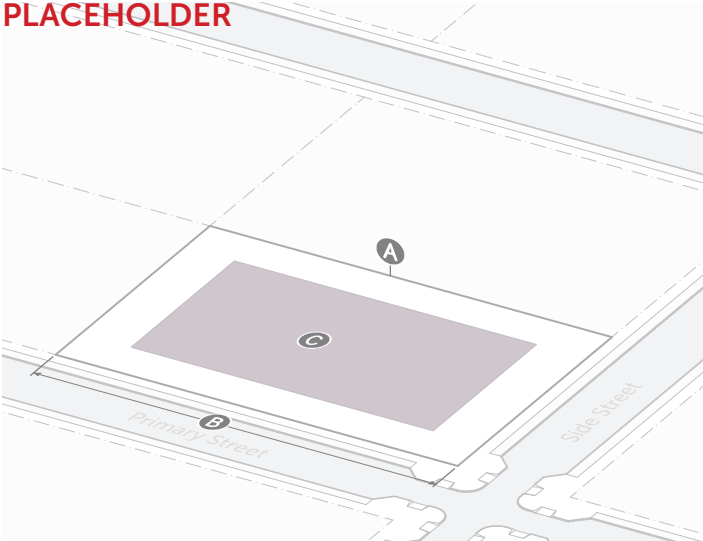
When the lot is in an eligible Form District and the use is allowed by the Use District, Civic Institution is allowed for the following uses:

- 1. General civic;
- 2. Community center, private;
- 3. Library or museum, private;
- 4. Religious assembly;
- 5. General private education; and
- 6. College or university, private.

CIVIC INSTITUTION

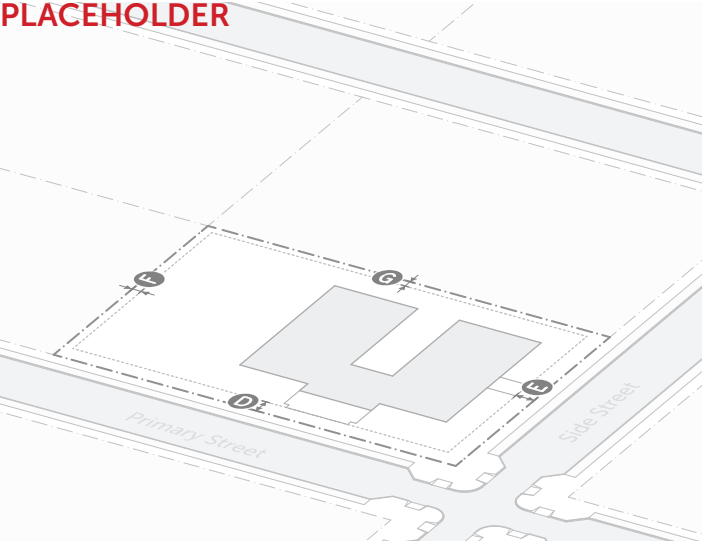
D. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	Set by Form District
B Lot width (min)	Set by Form District
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Set by Form District
3. Coverage	Sec. XX.XX.
C Building coverage (max)	Set by Form District
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

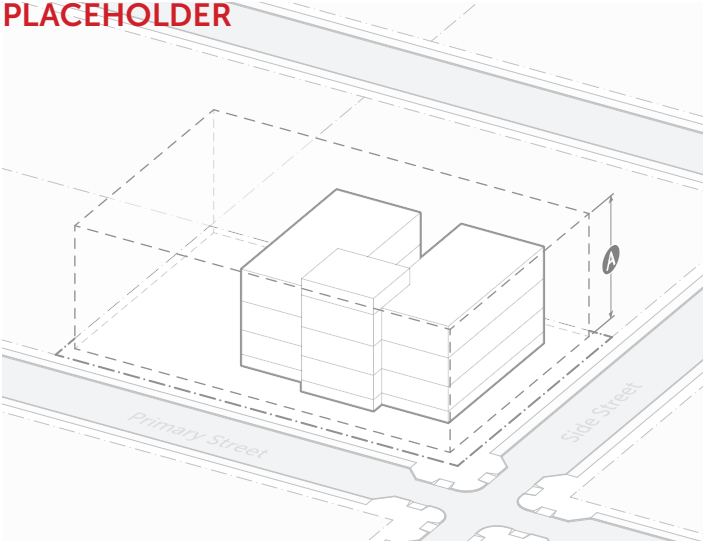


5. Building Setbacks	Sec. XX.XX.
D Street setback (min)	
Primary / storefront street	10'
Side street	10'
E Side setback (min)	5'
F Rear setback (min)	5'
6. Parking Location	Sec. XX.XX.
Front yard	Not allowed
Side street yard	Allowed
Side / rear yard	Allowed

CIVIC INSTITUTION

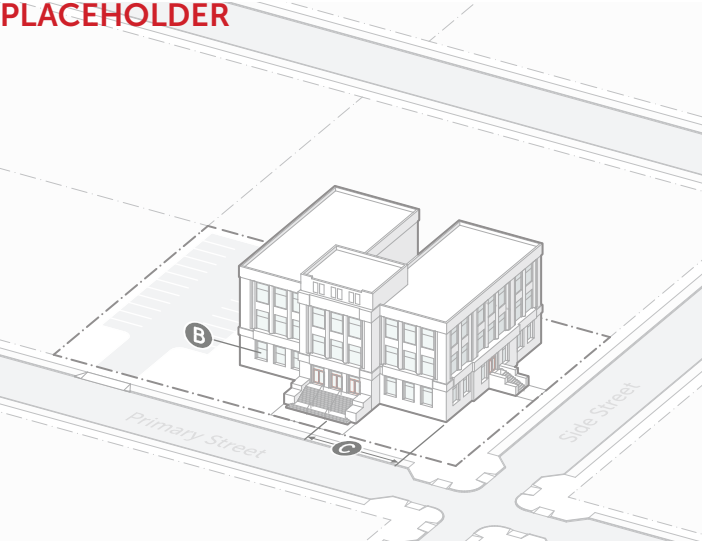
E. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max)	Set by Form District
Building width (max)	None

PLACEHOLDER



2. Windows and Doors	Sec. XX.XX.
B Ground story windows (min)	20%
Upper story windows (min)	None
Blank wall width (max)	None
C Street-facing entry	Required
3. Fences and Walls	Sec. XX.XX.
Front yard	Type 4
Side street yard	Type 4
Side / rear yard	Type 5

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Sec. 2.9.5. Park

A. Intent

Park is intended to allow greater flexibility for parks, open space, and utility uses, as well as land-based uses such as urban agriculture and gardening.

B. Eligible Form Districts

When the Use District allows an eligible use, and the lot contains an eligible use, Civic Institution is allowed in the following Form Districts:

- 1. House-Scale (H-)
- 2. Neighborhood-Scale (N-);
- 3. Urban General (UG-);
- 4. Urban Core (UC-);
- 5. Workplace Flex (WX-); and
- 6. Workplace (W-).

C. Eligible Uses

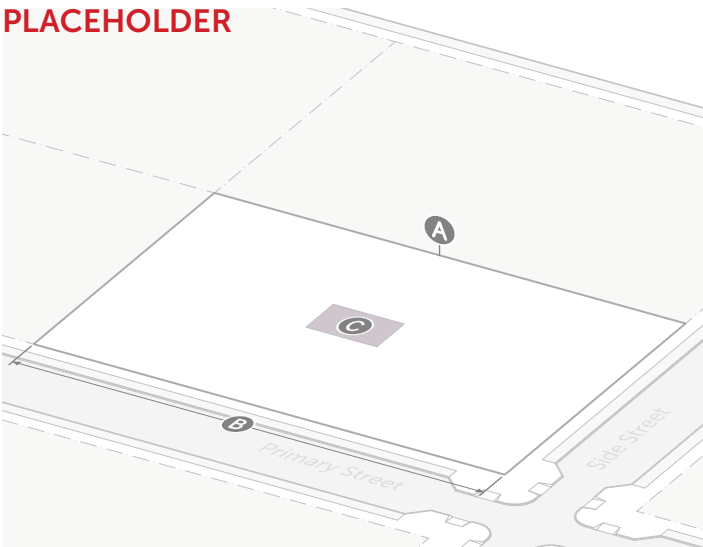
When the lot is in an eligible Form District and the use is allowed by the Use District, Civic Institution is allowed for the following uses:

- 1. General parks and open space; and
- 2. Cemetery.

PARK

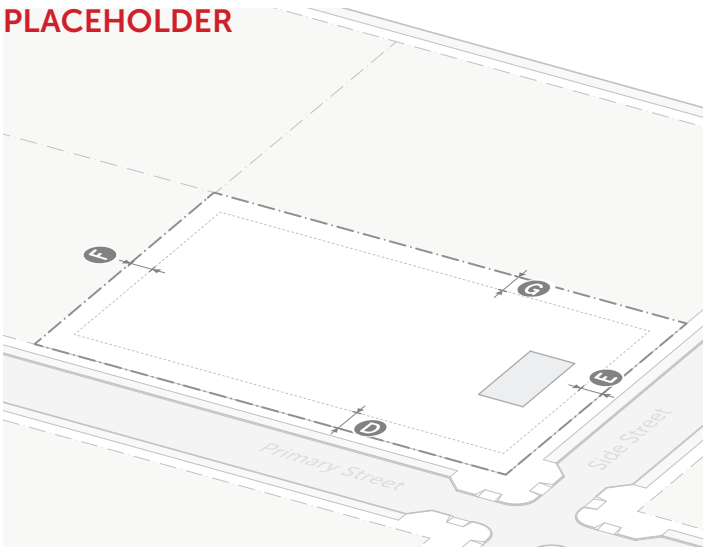
D. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Lot area (min)	Set by Form District
B Lot width (min)	Set by Form District
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Set by Form District
3. Coverage	Sec. XX.XX.
C Building coverage (max)	15%
4. Streetscape	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required

PLACEHOLDER

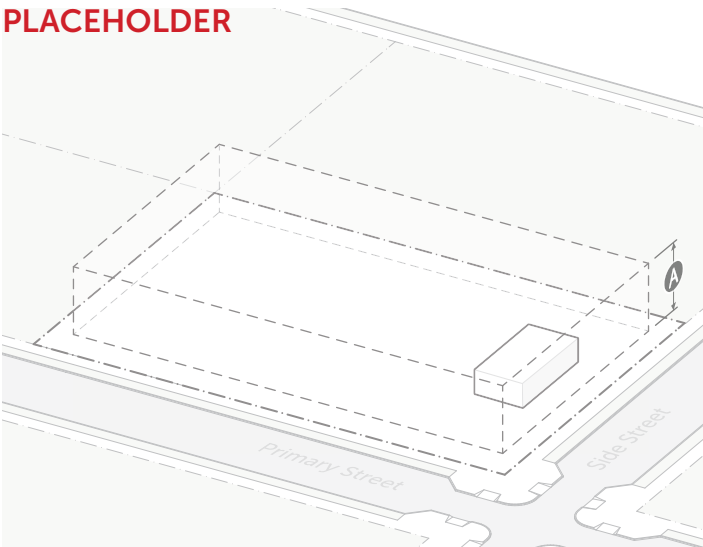


5. Building Setbacks	Sec. XX.XX.
D Street setback (min)	
Primary / storefront street	10'
Side street	10'
E Side setback (min)	10'
F Rear setback (min)	5'
6. Parking Location	Sec. XX.XX.
Front yard	Allowed
Side street yard	Allowed
Side / rear yard	Allowed

PARK

E. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max)	35'
Building width (max)	None
2. Fences and Walls	Sec. XX.XX.
Front yard	Type 4
Side street yard	Type 4
Side / rear yard	Type 5